

# ***Design Guidelines***

**for the**  
**Winchester Downtown National Register District**



Winchester Historic Preservation Commission  
P.O. Box 40  
Winchester, Kentucky  
40392-0040

Winchester Planning and Community Development  
P.O. Box 40  
Winchester, Kentucky  
40392-0040



Remember  
Protect  
Imagine

WINCHESTER  
HISTORIC  
PRESERVATION  
COMMISSION

## Acknowledgements

### **Ed Burtner, Mayor**

### **Winchester Historic Preservation Commission**

P.O. Box 40  
Winchester, Kentucky  
40392-0040

J.R. Wilhite, Chairman	Mark Arnold
Drew Graham	Chris Carpenter
Jack Jones	

### **Winchester Department of Planning and Community Development**

Ronda Cromer, Development Services Director  
P.O. Box 40  
Winchester, Kentucky 40392-0040

### **Winchester First, Inc.**

Rachel Alexander  
P.O. Box 40  
Winchester, Kentucky 40392-0040

### **Center for Historic Architecture and Preservation**

117 Pence Hall  
University of Kentucky  
Lexington, KY 40506



# Table of Contents

<b>I. Introduction.....</b>	<b>1</b>
1.1 About This Document.....	1
1.2 Purpose of These Guidelines.....	1
1.3 Why Have Design Guidelines?.....	2
1.4 Basic Principles for Preservation.....	2
1.5 How Will the Guidelines Be Used?.....	3
1.6 The Winchester Historic Preservation Commission (WHPC).....	3 1.7
Goals of Preserving Downtown Winchester's Historic Resources.....	4 1.8
The Design Review Process in Winchester.....	5 1.9
Questions and Answers.....	6
 <b>II. The Winchester Downtown Historic District.....</b>	 <b>9</b>
2.1 Brief History of the Winchester Downtown Commercial Corridor.....	9 2.2
District Boundaries.....	10 2.3
Change and Continuity.....	11
 <b>III. Downtown Building Types and Features.....</b>	 <b>13</b>
3.1 Summary of Key Characteristics.....	13
3.2 Architectural Terms for Typical Storefront Buildings.....	14 3.3
Typical Facade Types in Downtown Winchester: <i>Cast Iron</i> .....	15 3.4
Typical Facade Types in Downtown Winchester: <i>Italianate</i> .....	16 3.5
Typical Facade Types in Downtown Winchester: <i>Brick Front</i> .....	17 3.6
Typical Facade Types in Downtown Winchester: <i>Romanesque</i> .....	18 3.7
Estimated Construction Dates.....	19 3.8
Alteration of Historic Facades.....	20 3.9
Primary Facade Materials.....	21 3.10
Facade Conditions as of 2005.....	22
 <b>Design Guidelines</b>	
<b>IV. CHANGES TO BUILDINGS.....</b>	
4.1 Storefront Guidelines.....	25
4.2 Upper Facade Guidelines.....	27
4.3 Side and Rear Facade Guidelines.....	28

## Table of Contents (continued)

4.4 Architectural Details & Ornamentation Guidelines. ....	30
4.5 Windows and Doors Guidelines ..... 31	31
4.6 Masonry Guidelines..... 35	35
4.7 Wood Guidelines..... 38	38
4.8 Architectural Metal Guidelines. .... 41	41
4.9 Paint Guidelines. .... 43	43
4.10 Safety and Accessibility Guidelines. .... 44	44
4.11 Utilities and Energy Retrofit Guidelines . .... 45	45
<b>V. NEW CONSTRUCTION..... 47</b>	<b>47</b>
5.1 Building Setbacks & Orientation on Lot. .... 48	48
5.2     Size and Scale..... 49	49
5.3 Materials, Design Elements, and Rhythm..... 50	50
5.4 Additions Guidelines..... 51	51
5.5 Rear Decks, Terraces, & Rooftop Decks Guidelines. .... 52	52
<b>VI. SITE FEATURES..... 53</b>	<b>53</b>
6.1     Sign Guidelines..... 54	54
6.2 Awning Guidelines. .... 56	56
6.3 Parking Guidelines. .... 57	57
6.4 Landscaping Guidelines..... 58	58
6.5 Streetscape Guidelines ..... 59	59
6.6 Lighting Guidelines..... 60	60
<b>VII. DEMOLITION..... 61</b>	<b>61</b>
7.1 Denial of Authorization to Demolish..... 61	61
7.2 Delay of Demolition. .... 61	61
7.3 Demolition Guidelines . .... 62	62
7.4 Demolition By Neglect . .... 62	62
<b>VIII. APPENDIX..... 63</b>	<b>63</b>
8.1 Secretary of the Interior’s Standards for Rehabilitation	
8.2 Certificate of Appropriateness Checklist	
8.3 Application for Certificate of Appropriateness	
(COA) 8.4 Resources	

# I. Introduction

## 1.1 About This Document

**T**hese Design Guidelines provide guidance for maintenance and improvements to historic properties within the Winchester Downtown National Register District in Clark County, Kentucky.

These guidelines are part of a required, public process for property owners who are planning exterior alterations, additions, or demolition to existing buildings within the historic district. They also apply to the design of new buildings within the district. The guidelines work in concert with the Historic District Overlay and attendant procedures as set forth in the City's Code of Ordinances (Art. VI. Historic Preservation, §§ 5-80- -5-90). They will be used by the Winchester Historic Preservation Commission (WHPC) when making decisions about granting approval to exterior alterations and additions to structures, or to proposed new construction and demolition in the district.

**1.2 Purpose of These Guidelines** These Design Guidelines have been created to ensure that future development in the Winchester Downtown National Register District (including new construction as well as exterior alterations to existing buildings) takes place in such a way as to maintain and enhance the district's unique character and scale.

Regarding alterations, the purpose of these guidelines is to provide the WHPC with standard and objective criteria on which to base decisions when issuing Certificates of Appropriateness. The guidelines also provide design assistance to property owners who plan to build or make exterior changes to buildings within the historic district.



*These Design Guidelines provide a framework for property owners to follow that while allowing for alterations, preserves the character and important features of Winchester's downtown historic district.*

Finally, these guidelines provide educational information to property owners about Winchester's historic buildings, their distinctive characteristics, and how to maintain them; they suggest various appropriate ways to address design, repair, and rehabilitation issues; and they suggest good maintenance practices.

### 1.3 Why Have Design Guidelines?

Most buildings experience some degree of change over time. *Design guidelines* are a tool to help manage the direction and degree of change, while establishing a common understanding of preservation design principles and standards. Maintaining a high quality of life and retaining the character that exists within Winchester's downtown historic district are important goals identified by the City and its residents. Therefore, these guidelines and the design review process through which they are administered are intended to promote preservation of the historic, cultural and architectural resources that reflect the history of Winchester. These resources are fragile and finite, and are vulnerable to inappropriate alteration and demolition. Recognizing this, and in the spirit of continued stewardship that has helped the downtown area retain most of its historic character, the City of Winchester has established these design guidelines. In addition, retention of the historic features of the downtown, both in individual buildings and as a whole, has been shown to protect and increase the economic value of the buildings and the area.



*Individual building features are important to the character of the downtown historic district in Winchester. The mass, scale, form, materials and architectural details of the buildings are the elements that, when taken together, provide the buildings' distinctiveness and form the character-defining features of the district.*

### 1.4 Basic Principles for Preservation

These design guidelines incorporate principles set forth in *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, which are established by the National Park Service. These standards are policies that normally serve as a basis for more detailed design guidelines. The City of Winchester uses *The Secretary of the Interior's Standards for Rehabilitation* as a basis for these guidelines. These appear in the Appendix and may be referenced by the WHPC in making its decisions.

While the guidelines provide direction for specific design issues, some basic principles of preservation form

the foundation for them. The *Secretary of the Interior's Standards* can be summarized in the following four basic principles:

1. *Respect the historic design character, context, and function of the building.*
2. *Protect and maintain significant features, materials, and stylistic elements.*
3. *Preserve key, character-defining features of the property.*
4. *Repair deteriorated historic features, and replace only those elements that cannot be repaired.*

## 1.5 How Will the Guidelines Be Used?

**T**he Winchester Historic Preservation Commission encourages property owners to use this as a planning tool, to assist with the design of property improvements prior to submitting them for review by the WHPC. The WHPC will use the guidelines as the standard against which applications for Certificates of Appropriateness are judged. The guidelines are to be used in conjunction with the *Secretary of the Interior's Standards for Rehabilitation* (see Appendix).

The WHPC will require compliance with the guidelines where improvements and alterations are visible from the public right-of-way.

The important point is that the WHPC will attempt to be consistent and non-arbitrary in its rulings. For the most part, it will do this by requiring adherence to these guidelines.

## 1.6 The Winchester Historic Preservation Commission

Founded in 2001, the Winchester Historic Preservation Commission (WHPC) works to designate and protect historic neighborhoods, landmarks, individual properties as well as commercial districts.

The WHPC is comprised of a six member panel appointed by the mayor with many of its members possessing expertise in architecture, engineering,

*‘Be sure to contact the  
Winchester Historic  
Preservation Commission  
before you begin your  
project. We can help get you  
started on the right foot!’*



*Streetscape, downtown Winchester, ca. 1980. Improvements since that time include the elimination of overhead wires and cables.*

land use planning, archeology, historic preservation, or some related field. These devoted citizens work “to preserve Winchester’s historic, cultural and economic heritage through education, advocacy and administration of community standards.”

## 1.7 Goals of Preserving Downtown Winchester's Historic Resources

**A**cross the nation, thousands of communities promote historic preservation because doing so contributes to community livability and quality of life, minimizes negative impacts on the environment, and yields economic rewards.

Like many other towns and cities, Winchester recognizes that preservation is not always an end unto itself but is a critical part of the long-term stewardship and improvement of the City's resources. The benefits of maintaining downtown Winchester's unique character, as embodied in its architecture and materials, are an important and integral part of the City's overall planning and improvement initiatives.

The Winchester Downtown Historic District offers a unique concentration of commercial, civic, religious, industrial, and other building types that span the cultural and architectural history of not just the City of Winchester, but of the region and the nation as a whole. Because Winchester has retained its historic buildings and materials to a high degree, its downtown commercial corridor provides residents and visitors to the City with a glimpse of the past and a sense of the City's character that could be conveyed in no other way.

**W**ith this in mind, the City's goals for preserving downtown Winchester's historic resources are to:

- *Maintain and preserve downtown Winchester's distinctive historic and architectural characteristics.*
- *Foster civic pride in the value of Winchester's past and its importance to the present.*
- *Enhance the visual and aesthetic character, diversity, and interest of the City.*
- *Promote and use this historic area and buildings to strengthen the economy of the City and enhance its attractions to residents, visitors and tourists.*
- *Promote the educational, cultural, and general welfare of the people.*
- *Protect and improve property values in the historic district and in the City as a whole.*



*While undergoing alterations and adapting to new uses over time, the character-defining features of this building, including its materials, its Italianate features, and its pedestrian orientation, have been retained.*



## 1.8 The Design Review Process in Winchester

Follow these basic steps to understand the design review process in Winchester.

### Step 1.

*Become familiar with the design guidelines and contact the WHPC.*

Review the basic content and organization of the guidelines and determine which portions apply to your project. A meeting with the WHPC can help to clarify any questions you may have, and will also provide additional resources.

### Step 2.

*Know the character-defining elements of your building.*

Consider the important features of your building and plan to avoid alterations that might adversely affect them. You should consider immediately adjacent properties, the character of the block, and the character of the historic district as a whole.

### Step 3.

*Check other City regulations.*

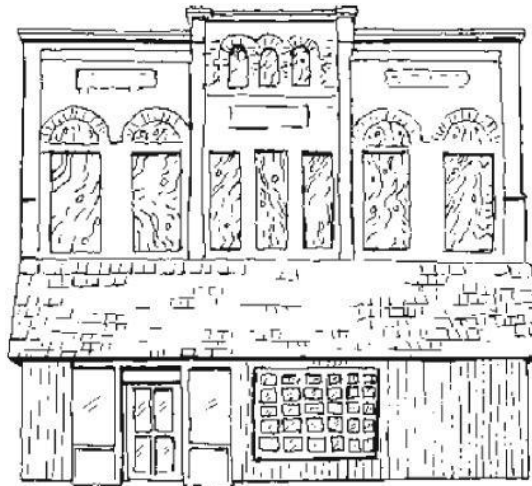
The guidelines are a supplement to other adopted City regulations. The Planning Department can provide information about certain regulations which also may affect the design character of a project.

### Step 4.

*Develop a design concept using the guidelines as a tool for decision making.*

Take care to design alterations so that they are com-

patible with the original design character of the building. Avoid changes that would hinder the ability to understand the building's original character or that would damage significant historic features or materials. The guidelines contain information as to the nature of acceptable changes and form the basis for the design review process; these should be followed from the outset. Early contact with the members of the WHPC for direction and advice is strongly recommended.



*Alterations to this street-level storefront have radically altered the original design character of the building. Depending on the size of your project, you may wish to engage an architect, preservation consultant, or other professional to assist you in developing your concept for exterior alterations.*

### Step 5.

*Prepare and submit a proposal for formal review by the WHPC.*

A proposal should be prepared and submitted to the City for projects that are subject to review. Adequate documentation is essential to provide a complete understanding of the work proposed. Documentation will include drawings, sketches, and/or a written description of the proposed changes.

Contact the Office of Planning and Community Development at (859) 744-7019 for more information. An official application form for a Certificate of Appropriateness (COA) can be found in the Appendix.

***On an annual basis, the WHPC will communicate directly with property owners in the District regarding the design review process and any changes in these Guidelines.***

## 1.9 Questions and Answers

### Will following the Guidelines be more expensive?

Generally, following the guidelines will not be more expensive. The guidelines will help owners to determine where money needs to be spent as well as helping to plan for future investments in building maintenance.

### Do the Guidelines dictate what I can or cannot do, or mandate colors, materials and styles?

No. The guidelines reflect basic approaches to compatible design within Winchester's historic district. These approaches help to build a strong continuity within the downtown historic district and build upon Winchester's early commercial design traditions.

### What about minor repairs and maintenance?

Minor repairs and general maintenance do not need to be approved by the Winchester Historic Preservation Commission (WHPC). Overall, the WHPC is not concerned with minor upkeep, including repairing windows or doors. When thinking of replacing such elements, the WHPC should be contacted in order to help steer you in the appropriate direction for your building.

### What about interiors?

Interiors are not generally issues of concern within the Design Guidelines for the Winchester Downtown Commercial Historic District. Changes to your interior which do not alter the exterior elements of the building visible from the public right of way do not need to be brought before the WHPC.

### What part of the building is the WHPC concerned with?

By and large, these guidelines cover the exterior of

buildings; including those aspects of the building visible from the public right of way, the sides and rears.

Are all proposed projects evaluated the same? All proposed projects brought before the WHPC will be evaluated under the same general process, but each project will be looked at individually with individual properties and owners' interests taken into account.

### How do I contact the WHPC?

You can contact the WHPC with questions or concerns through its Website, On [www.winchesterky.com](http://www.winchesterky.com), by phone at the Office of Planning and Community Development at (859) 744-7019, or at P.O. Box 40, Winchester, KY. 40392-0040. You are also welcome to attend the WHPC's meetings.

### What is the process for obtaining a Certificate of Appropriateness (COA)? Once submitted, what timeline does the WHPC follow for accepting or rejecting the application?

To obtain a COA, a property owner should contact the Office of Planning and Community Development at (859) 744-7019. You must submit proposed construction documents along with a COA application. Once a COA has been submitted, the property owner must keep in mind that no work can begin without COA approval, followed by procurement of a Building Permit.

***\*Are emergency repairs to the building subject to the approval of the WHPC? Should the building official determine that emergency conditions dangerous to life, health and property affect, a property he may order the remedying of these conditions without the approval of the WHPC.***

***WHPC staff may also approve COA applications for the following actions, provided that such approvals are consistent with these Guidelines and reported to the WHPC; signage and the repainting of previously painted areas.***

What materials should I take with me when my project is brought before the WHPC? you should take with you construction plans, facade drawings, and any information pertinent to the project. The WHPC will either accept or deny a COA within 45 days of submission.

Can decisions of the WHPC be appealed?

If a case can be made that the denial of a COA causes undue hardship, the property owner may apply for a variance from the Board of Commissioners.

Will the Winchester Historic Preservation Commission make me fix or change my building?

The WHPC will not actively seek out property owners to fix or change their building.

Are there any grants or funds available to help with the cost restoration of historic buildings?

Local grant programs for the restoration of historic buildings are available through the Winchester First program. Federal and State incentives are also available. Contact Winchester First at: (859)737-0923.

Do contractors have to be certified by the WHPC to perform certified work on the buildings?

No, contractors do not have to be certified by the WHPC, however, they must have a Winchester Occupational license, obtained by contacting the City Clerk's office at (859)744-1660.

Does the Winchester Historic Preservation Commission check on the work while it is being completed?

Yes, WHPC staff will review the work in progress. After COA approval, a building inspector will verify the work's compliance with its construction documents.

Does the WHPC tell me how I can utilize my building?

No, the WHPC does not have jurisdiction of the utilization of the downtown buildings. Zoning issues are administered through the use of a zoning ordinance administered by the Winchester/Clark County Planning Commission

Does the WHPC review new construction within the district?

Yes, the WHPC must review new construction within the district to assure it blends with the existing stylistic fabric of the district.

Can I paint my building whatever color I want?

Yes, but the WHPC suggests that you take into account the historical surroundings and attempt to maintain a complementary appearance with the rest of the Winchester Commercial Historic District

Do I have to preserve the original fabric of the building or can I simply put in something that looks like the original?

According to the WHPC guidelines and the standards set forth by the Secretary of the Interior, preservation of the original fabric is preferred; however, if the original has deteriorated beyond repair, replacement of original material is acceptable. The WHPC will assist you in selecting appropriate replacements while maintaining the correct style.

How will the WHPC control issues such as commercial signage, lighting or storefront windows?

The majority of these issues are addressed in the guidelines. For further information, see the City of Winchester's Code of Ordinances, Article III, , Section 11-41—11-70 (Signs in Central Business District).

## II. The Winchester Downtown Historic District

### 2.1 Brief History of the Winchester Downtown Commercial Corridor

In 1982 the Winchester Downtown

Commercial District was listed in the National Register of Historic Places. The district included a high concentration of late nineteenth and early twentieth century buildings that collectively illuminate the development and history of the city during a period of intense growth and activity.

The following is excerpted from the *Downtown Winchester National Register District Nomination*, by Eric Eismann, 1982.

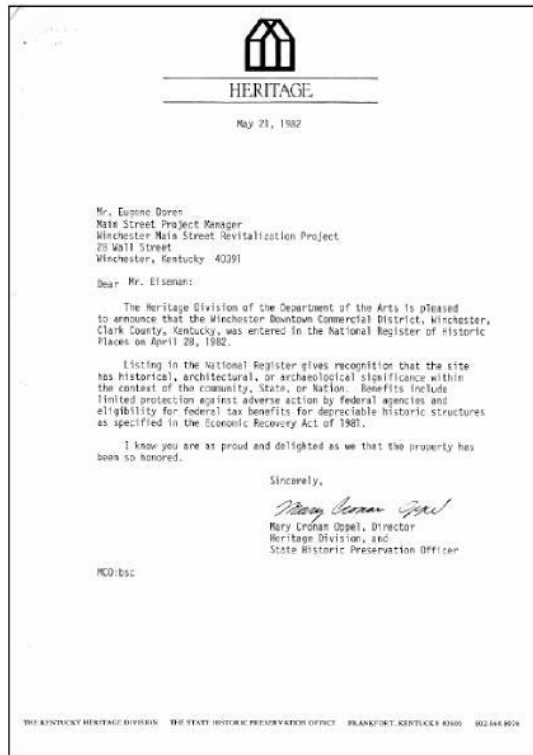
“The Downtown Commercial District of Winchester, Kentucky, contains one of the more remarkable collections of late 19th century commercial architecture in existence in Kentucky. Contained within the district is a high concentration of distinctive landmark buildings which are notable for their local adherence to high architectural styles and use of materials and surface textures. The downtown architecture is an accurate reflection of the community's changing sense of aesthetic. Buildings such as the Brown-Proctor Hotel, the Clark County Courthouse, the Odd Fellows Building,

the old Leeds Theatre, and others are elegant expressions of local as well as national architectural design during a period of the City's most intensive economic growth. In addition, the terraced 'high sidewalk' of Main Street is an unusual response to the demands of commercial block development and the natural environment.

The single most significant event that shaped the character of Winchester was the arrival of the railroads in the 1870s. The railroads altered the landscape of the area and created a boom economy which projected Winchester into the industrial era of the late 19th century. This was Winchester's period of greatest growth. As the town prospered, the older commercial

core of the city between Hickman Street and the Courthouse shifted gradually northward along Main Street toward the railroad facilities on Depot Street.”

Overall, the Winchester Downtown Commercial District is primarily comprised of commercial, civic, and industrial structures built during this period of economic and cultural growth 1870—1930.



*The Winchester Downtown Commercial Historic District was successfully listed on the National Register of Historic Places in 1982.*

## 2.2 District Boundaries

In 1982 when the district was nominated to the National Register, there were 117 buildings within its boundaries. Only three were designated as non-contributing intrusions. Today, the district area contains a total of 109 buildings, 94 of which are considered as contributing to the historic character of the district. The majority of structures are two or three story, late nineteenth or early twentieth century, load-bearing brick co



Base data provided by the office of Clark County Geographic Information System (CCGIS) Consortium, September 2014





## 2.3 Change and Continuity

The downtown National Register District remains a material expression of a time some 100 years ago and is still very much what it was when the district was established in 1982. Two- or three-story commercial storefront buildings, civic buildings such as the Clark County Courthouse, corner anchors such as the S. P. Kerr Building and the Brown Proctor Hotel, and a variety of other buildings that followed these still define the city's streetscape. With the courthouse as its focal point, the district's historic setting remains intact. Further, many buildings are associated with prominent citizens of Winchester's past and present. For these reasons, the district as a whole retains a high degree of integrity despite alterations to many individual structures.

The City is proud that the downtown district remains strong despite undergoing a variety of changes. While the district has seen the demise of several structures including the St. George Hotel, the old jail, and several buildings on North Main Street near Washington, the City has also seen improvement in the lowering or removal of overhead lines and in the revitalization of important structures, including the Kerr building and the Opera House. There are also many cases where infill, reconfiguration, and new design have left an imprint on Winchester's historic Main Street corridor.

Because the Main Street corridor is part of the city's legacy as one of Kentucky's premier historic towns, it is important to understand what it is that makes it that way. As Richard Francaviglia points out in his book *Main Street Revisited*, a downtown is a powerful expression of the collective spirit of Americans during an age of radical progress and industrialization as a nation. This is expressed in Winchester in the City's buildings, their scale, materials and styles, and in the

rhythm of their arrangement. Like Winchester, downtowns across America became symbols of shared values, repositories for symbolizing the past, and the focal points for understanding America's march towards modernity. Fortunately for Winchester, good stewardship has helped the City retain its character where other towns have experienced much greater loss or decline.



*Images from Winchester today showing nearly 200 years of continuity. The Clark County Courthouse (top) anchors the central core of the district. The Ogden House (middle), built around 1810, is among the district's oldest structures. The Brown Proctor Hotel provides a strong anchor for the southern part of the district (bottom).*



**B L A N K**

# III. Downtown Building Types and Features

## 3.1 Summary of Key Characteristics

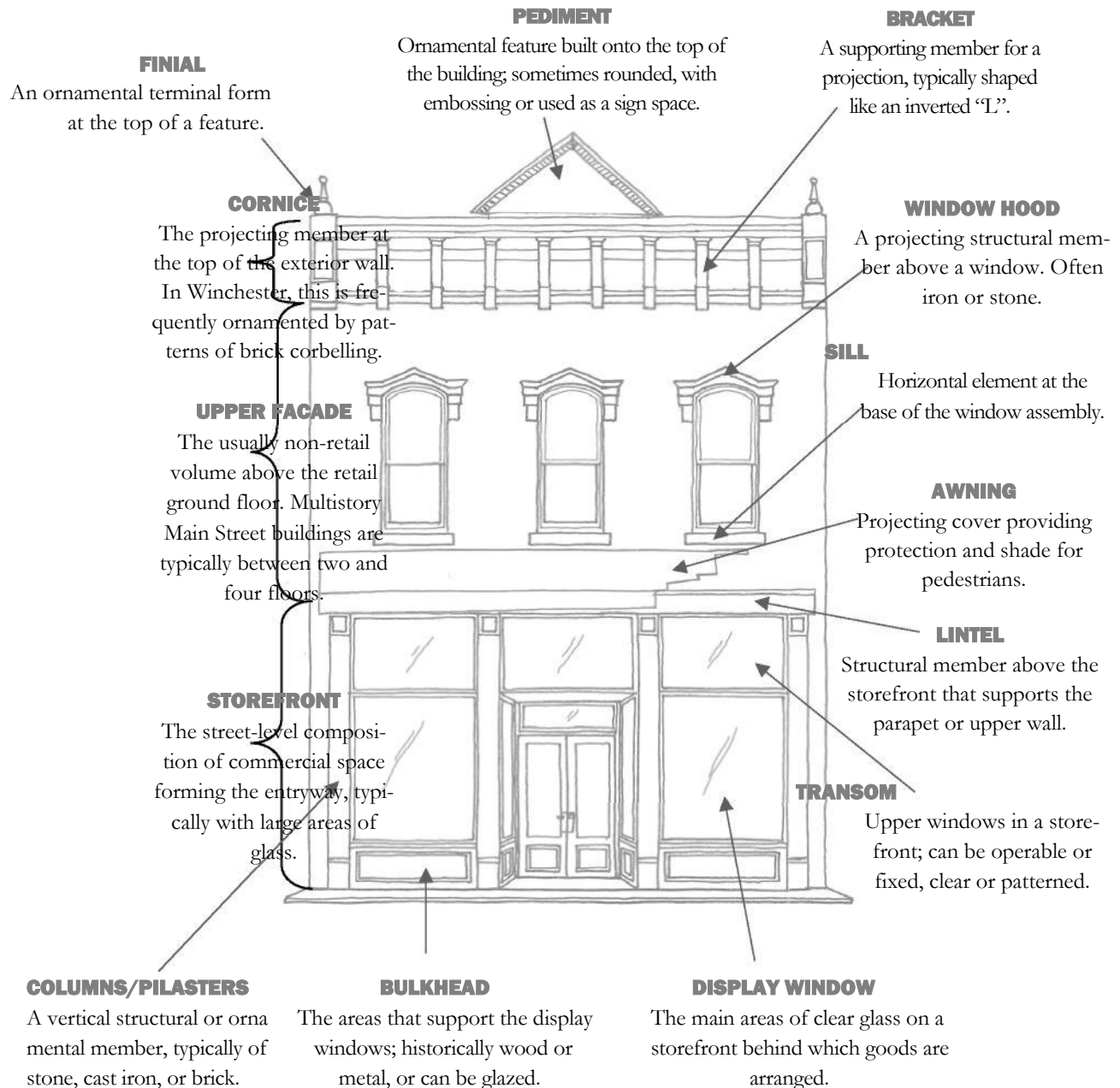
This section addresses the key characteristics of the Main Street corridor and provides general information about typical building types, styles, and architectural elements found within the City. With some exceptions, the primary design characteristics of the Winchester Downtown Historic District include the following:

- Load-bearing masonry construction on stone or brick foundations
  - Dense concentration in placement; adjacent buildings share one or more common side walls.
  - Minor diversity of building scales except for anchoring buildings, which typically are larger and occupy corner block positions
  - Row buildings are one to three stories in height, three to five bays in width
  - Storefronts at street level; storefronts have a greater floor-to-ceiling height than upper stories
  - Upper facades with regularized patterns of fenestration, ornamentation, window hoods, pediments, and/or decorative cornices
  - Distinct division of street-level elements from upper facades accomplished through belt courses, friezes, awnings, or other elements
  - Strong pedestrian orientation indicated by large display windows, recessed entryways, transparent doors, threshold decorations, awnings, and other “pedestrian friendly” elements
  - Strong emphasis on verticality indicated by tall windows, pilasters, columns, and overall building scales; wider buildings are divided into distinct bays in order to retain this emphasis
- Shallow setbacks from street with limited rear, side, or on-street parking
  - Variety of applied stylistic ornament and architectural detailing including smooth and rusticated stone, brick, sheet metal, and/or cast iron

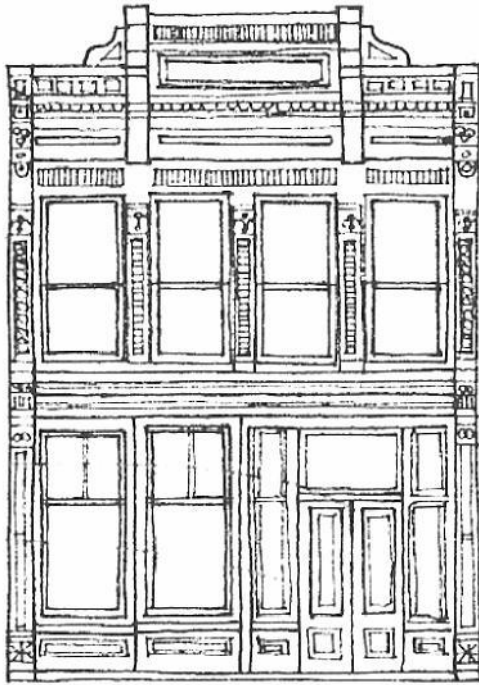


## 3.2 Architectural Terms for Typical Storefront Buildings

### *Anatomy of a Main Street Building*



### 3.3 Typical Facade Types In Downtown Winchester: Cast Iron



*Design Considerations for Winchester:* Workmanship and materials on these buildings illustrates the original design concept complemented by the traditional corner pilasters that framed the display windows and entrance. Second level iron pilasters, often with ornamented panels, divide the facade's bays, while the entire structure features a series of moldings and fascia culminating in the bracketed or pedimented sign frieze. There is a heavy use of ornament on the upper level and an elaborate cornice, working in concert with the texture wall and the distinctive profile to identify the store. Iron front classical motif stores lost popularity in the twentieth century, but the order, occasional elegance, and rich tapestry they gave to districts—especially those near rails—were significant.\*

*Characteristics of the Cast-Iron Front:* Generally one to three stories with references to classical details defined by cast iron moldings. This type of storefront often had brick and iron cladding, a flat roof with parapet, and columns or decorative pilasters. The front entrance was sometimes off center and/or recessed.

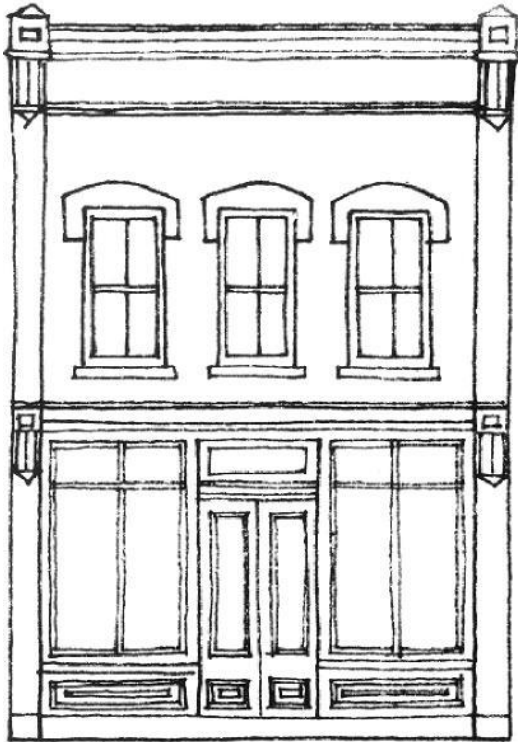
*History:* Beginning in the early 1880s, iron storefronts were gaining in popularity. Technologies needed to produce iron architectural materials were both perfected and were part of a rising specialty within popular artisan and crafts occupations. The mold makers preferred classical details so that most iron facades had at least a pair of plain pilasters at the corners or a set of stacked half columns with an entablature. While the iron posts and beams framed the facade, tin pieces were used for lintels or surrounds around the windows and for the large bracketed, molding-heavy cornice. All metal pieces were painted to prevent rust.



\*Gottfried, Herbert and Jennings, Jan. *American Vernacular Design 1870-1940: An Illustrated Glossary*. New York: Van Nostrand

Reinhold, 1985. *Design Guidelines for the Winchester Downtown National Register District*

### 3.4 Typical Facade Types In Downtown Winchester: *Italianate*



*Characteristics of the Italianate Storefront:* Generally two to three stories high, three to five bays wide. This type of storefront often had brick and decorative iron elements, a flat roof with a bracketed cornice, and tall, narrow square or arch-topped two-over-two windows with decorative masonry or iron hoods. Lintels and sills are typically of smooth or rusticated stone.

*History:* This style was popular primarily in the early 1870s and 1880s. The window treatment, including the shape and size of the window and the lintel or sill, the cornice line, and the corners of the building offered the best opportunities for detailing. Windows were long and narrow, frequently with segmented arches. In the evolution of storefronts, the Italianate was one of the first successful historic styles built from manufactured materials. It set a precedent and a design standard that is still evident in a number of Win-

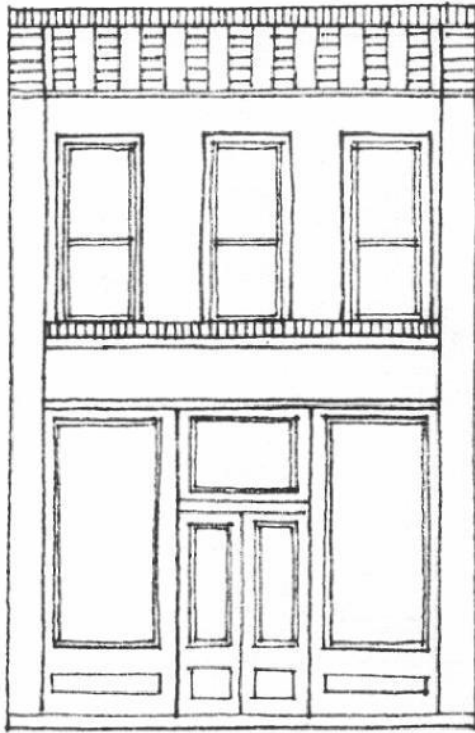
chester's downtown buildings.

*Design Considerations for Winchester:* Facade designs in the Italianate style offer a distinct separation of the first floor from the upper stories, divided by an ornamented beam and/or surface moldings. Pilasters or half-columns might mark the edges and frame the lower level. While distinctive, there is a great variety of style possible within this range of architectural features. The key considerations are a strong verticality of windows, the position and depth of ornamental elements such as window hoods, pendants, brackets, and pilasters.\*



\*Gottfried, Herbert and Jennings, Jan. *American Vernacular Design 1870-1940: An Illustrated Glossary*. New York: Van Nostrand Reinhold, 1985. *Design Guidelines for the Winchester Downtown National Register District*

### 3.5 Typical Facade Types in Downtown Winchester: **Brick Front**



*Design Considerations for Winchester:* These buildings feature street-level storefronts with large display windows, encompassed within strong framing elements marked by a “post and beam” arrangement of pilasters, belt courses, and sills of brick or stone. The edges of the building and the spaces between the bays are defined by pilasters and/or inset brick panels. The upper facades are frequently elaborated with brick set in patterns that produce decorative surface textures and effects. The cornice functions as a cap under which the other elements are arranged and balanced. In belt courses and especially at the cornice lines, corbelling and/or dentils produced by brick set incrementally at different depths are common in downtown Winchester.\*

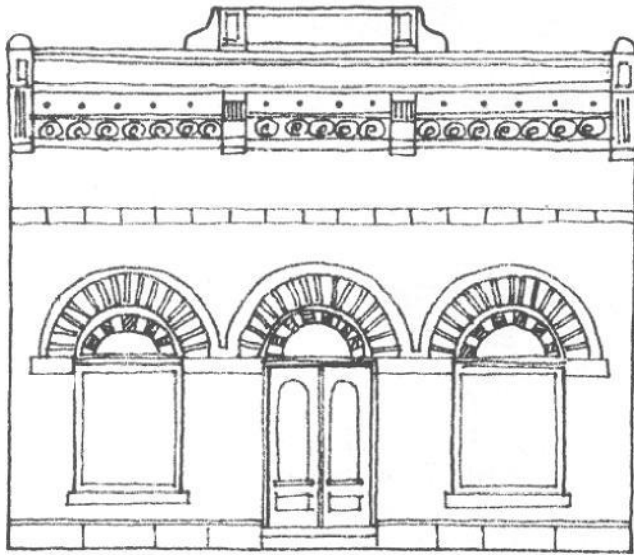
*Characteristics of the Brick Front facade:* Typically one to three stories high, three to five bays wide, these storefront buildings are clad in brick and have flat roofs, sometimes with parapet walls that may contain triangular or semi-circular pediments. Distinctive string or belt courses may divide the wall horizontally, especially between the first and upper stories. On the upper facades and friezes, bricks are often set in geometric or decorative patterns that give the overall facade wall texture and interest. Winchester’s brick-front stores frequently feature heavy brick corbelling patterns and pilasters.

*History:* Simply and strongly organized, attractive, and functional, the brick-front store is one of the most enduring of vernacular storefront designs and is found throughout the United States. Narrow and deep, such buildings were often built in groups with party walls up to a block in length.



\*Gottfried, Herbert and Jennings, Jan. *American Vernacular Design 1870-1940: An Illustrated Glossary*. New York: Van Nostrand Reinhold, 1985. *Design Guidelines for the Winchester Downtown National Register District*

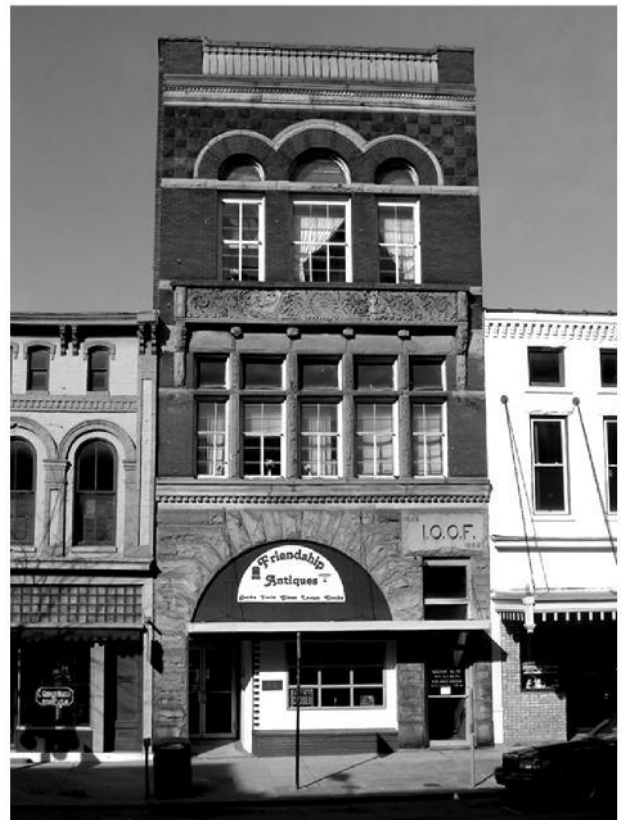
### 3.6 Typical Facade Types In Downtown Winchester: Romanesque



*Design Considerations for Winchester:* The emphasis in a Romanesque facade is on materials and workmanship resulting in a heavily textured or sculptured facade. The rhythm of broad arches or arcades is a critical feature. Typically these buildings use coursed, rock-faced sandstone blocks with round-arched windows and wide, arched entryways. Other Romanesque elements might include a corner entrance marked by one or more columns from which an arch springs. Usage of stone and brick materials, the one serving to offset the other as trim elements, is critical. Fenestration varies by floor level; first floor windows might be larger than the second and be tied together by arches, or the second floor might use an alternative window mounting on the facade up to lunettes (semicircular arched windows).

*Characteristics of the Romanesque facade:* Typically one or two stories in stone, topped by two to three stories in brick with distinctive architectural and ornamental elements. These buildings often have flat roofs with parapets, large, round-headed windows, large lunette windows, deep detailing defined by recessed and/or patterned brick or stone features, and arcaded entryways.

*History:* Not as widespread as the Italianate, the Romanesque was a mode of architectural expression popular during the last decades of the 19th century. This was a style popular for banks and public buildings, but storefronts and corner business blocks were also frequent. Substantial, low, and heavy, the buildings implied security and commitment to purpose.

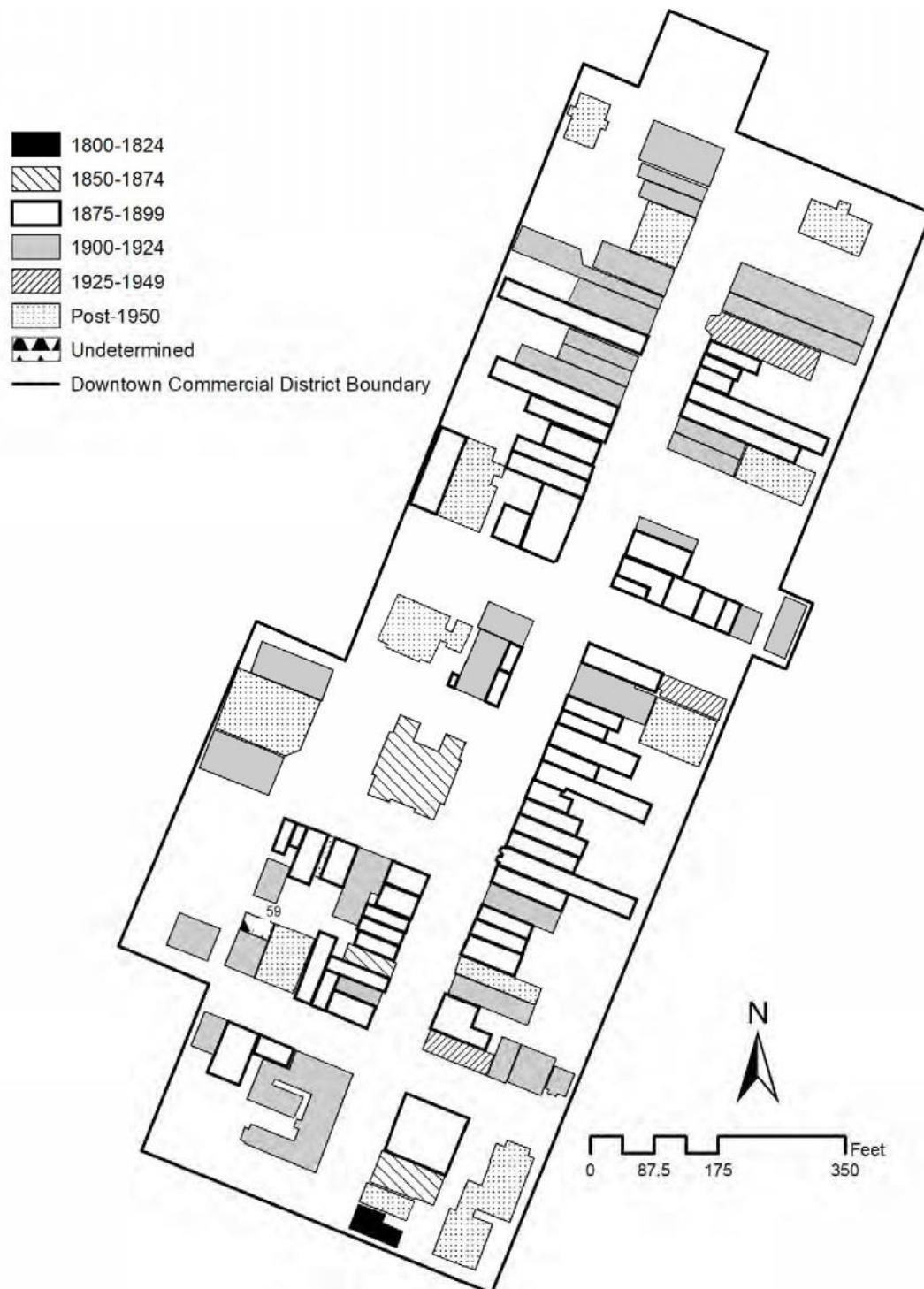


\*Gottfried, Herbert and Jennings, Jan. *American Vernacular Design 1870-1940: An Illustrated Glossary*. New York: Van Nostrand Reinhold, 1985. *Design Guidelines for the Winchester Downtown National Register District*



### 3.7 Estimated Construction Dates

Taken as a whole, the district retains a great deal of significant 19th and early 20th century buildings. More than half of the downtown buildings were built between 1875 and 1900. The high retention of historic structures and the relatively low rate of change in their construction materials provides architectural continuity.

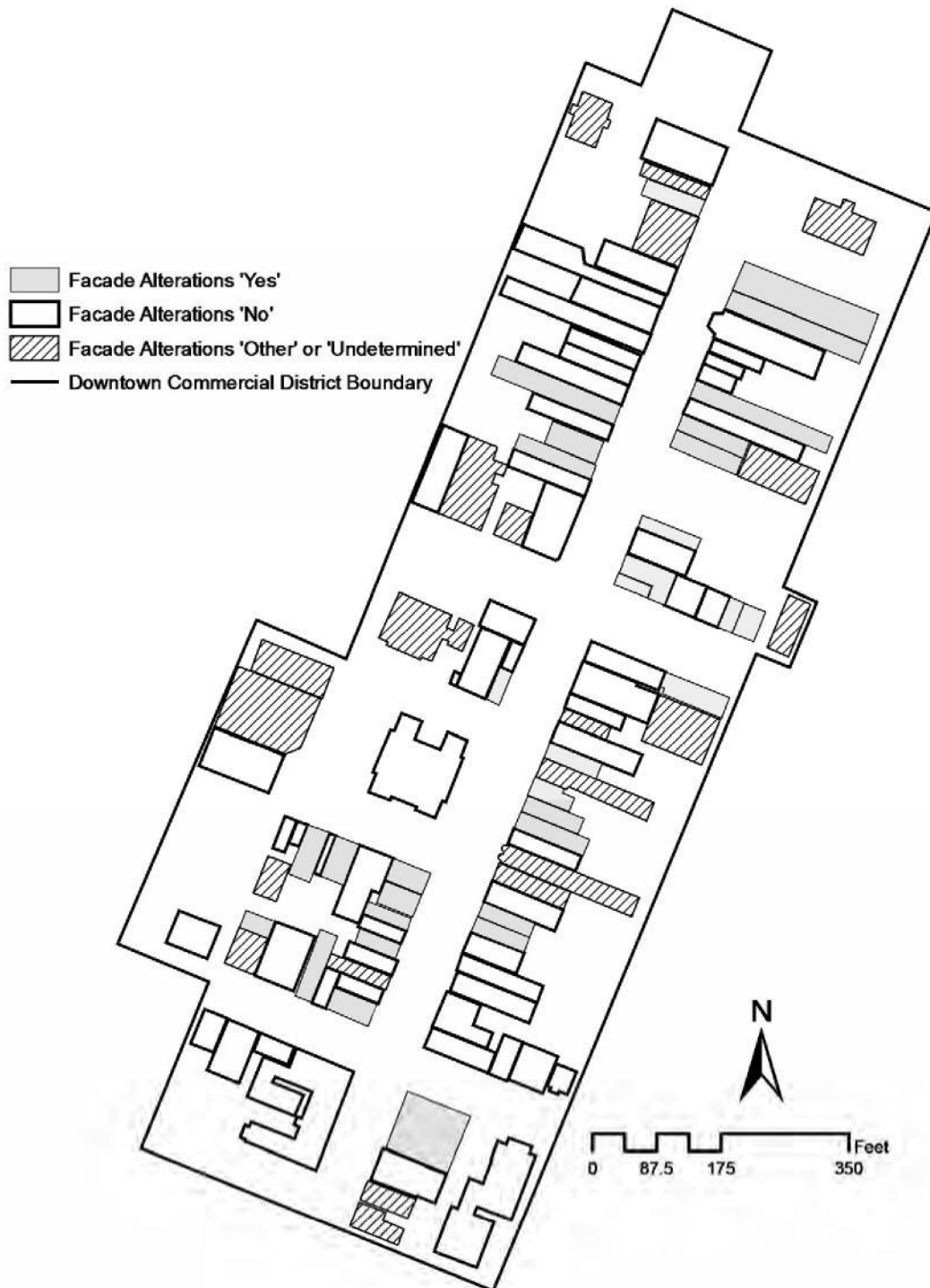


Design Guidelines for the Winchester Downtown National Register District



### 3.8 Alteration of Historic Facades

Remarkably, more than half (52%) of the facades in the district have undergone little to no significant alterations since initial construction. Of those that have been changed, many have remained sympathetic to the buildings' original material and design integrity while other changes have disregarded the historic character of the buildings. The high percentage of buildings that have had only minimal alterations contributes to the district's overall historic integrity.



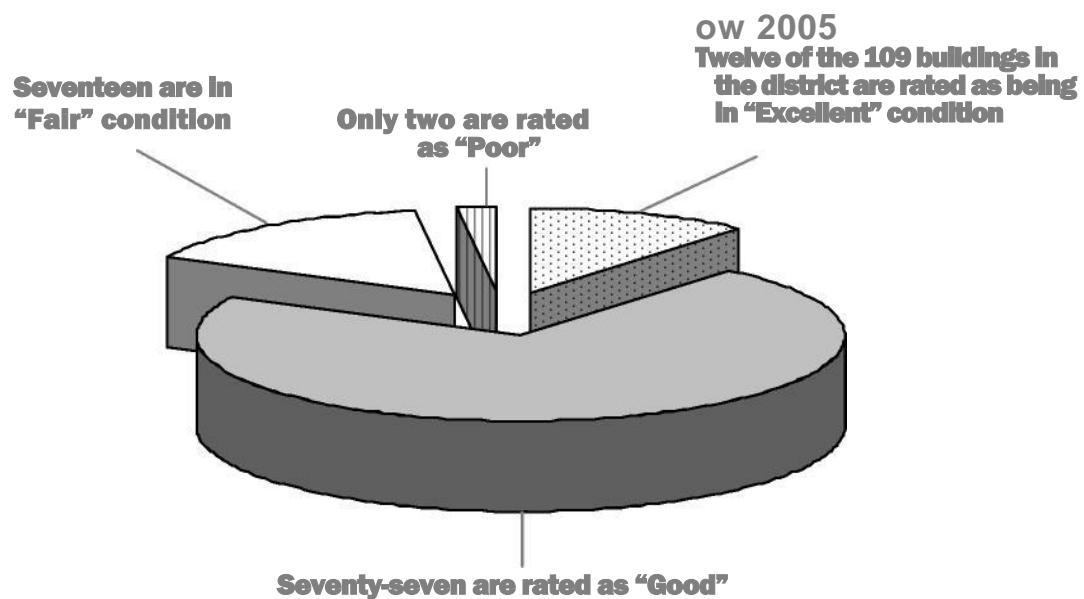
### 3.9 Primary Facade Materials

Part of the distinctiveness of the district lies in the materials and workmanship that make up the buildings. Most of the commercial structures were constructed of load bearing masonry with brick being the primary facade material. Cast iron was used for structural integrity to span the storefront bay, and for ornamentation. In general, brick was used above the cast iron beam to finish out the facade. While many buildings have cast iron elements, at least one facade in the district, 47 S Main St., is composed entirely of cast iron.



### 3.10 Facade Conditions as of 2005

While facades have been altered, an estimated 82% are ranked in condition from Excellent to Good. Those structures listed as Fair are in need of maintenance or have alterations that could put them at risk of becoming non-contributing to the district. Otherwise, the Downtown area is intact and continues to provide the architectural continuity needed to reflect its primary periods of significance as listed in the original district nomination to the National Register.



*Historic facades remain largely intact in downtown Winchester.*

# **Design Guidelines**

**for the  
Winchester Downtown National Register District  
Clark County, Kentucky**

---



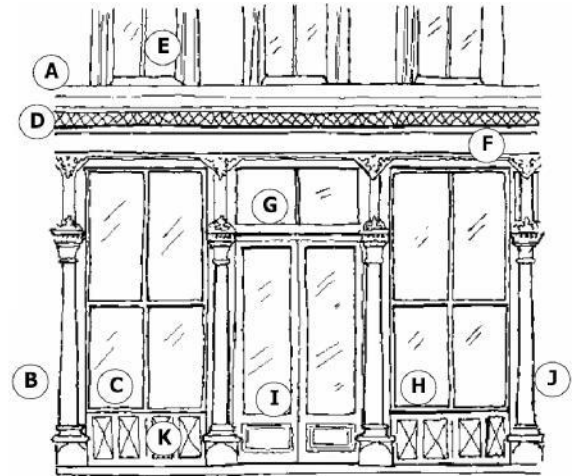
Design Guidelines for the Winchester Downtown National Register District

**B L A N K**

## IV. CHANGES TO BUILDINGS

### Storefronts

The storefront is the single most identifying characteristic



of the historic commercial facade in downtown Winchester. Turn-of-the-century commercial buildings, the predominant building type in downtown, commonly included storefronts with large display windows, transom bars or windows, and recessed entryways.

#### 4.1 Storefront Guidelines

**4.1.1** Retain and preserve historic storefronts and storefront features such as entryways, display windows, doors, transoms, corner posts, etc.

**4.1.2** Whenever possible, retain and preserve historic materials. Avoid the removal of historic materials or architectural features.

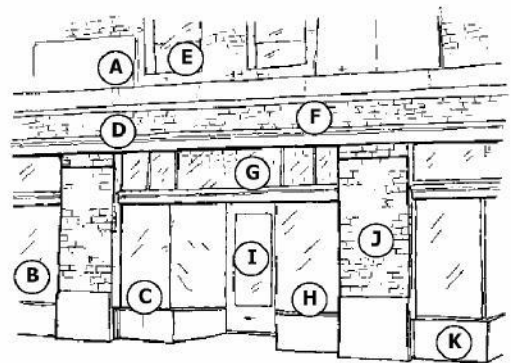
**4.1.3** Whenever repairing or renovating, it is recommended that any non-historic storefront or facade treatments including metal cladding or other non-historic

alteration be removed.

*A Traditional Storefront*

**Storefront Elements**

- A. Upper Facade**
- B. Lower Facade**
- C. Storefront**
- D. Cornice**
- E. Upper-Floor Windows**
- F. Sign Frieze**
- G. Transom**
- H. Display Window**
- I. Entry**
- J. Columns or Pilasters**
- K. Bulkhead**



*A Modern Storefront*

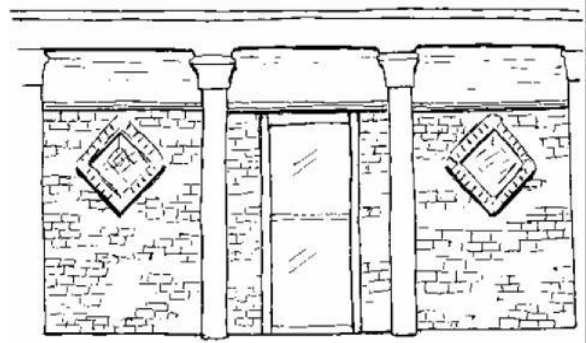
Design Guidelines for the Winchester  
Downtown National Register District

**4.1.4** If replacement of a deteriorated storefront or storefront feature is necessary, replace only the deteriorated element to match the original in size, scale, proportion, material, texture and detail.

**4.1.5** When reconstructing a historic storefront, base the design on historical research and evidence. Maintain the original proportions, dimensions and architectural elements.

**4.1.6** Whenever changes are required to meet building or accessibility codes, they must be done in a way that is the least intrusive to the facade and without destroying historic materials and features.

**4.1.7** Where original or early storefronts no longer exist or are too deteriorated to save, retain the commercial character of the building through contemporary design which is compatible with the scale, design, materials, color and texture of the historic buildings.



*Selective removal of later, and inappropriate additions, such as those seen above, and replacement with historically compatible materials can do much to revitalize storefronts.*

“A

*tttractive historic storefronts enhance the downtown experience for pedestrians and encourage shoppers to visit the area.”*



## Upper Facades

The front elevation of turn-of-the-century commercial buildings in Winchester is commonly made up of the storefront and the upper facade. Many of our historic downtown buildings were designed for, and still used as, commercial on the street level and office or residential on the upper levels. Therefore, the facade treatment is quite different between the first and upper floors.

### 4.2 Upper Facade Guidelines

**4.2.1** Retain and preserve historic facades and facade details such as corbelled brick, stringcourses, cornices, windows, and stonework.

**4.2.2** The covering of upper facades is not appropriate. Whenever possible, remove metal or other non-historic covering from upper facades.

**4.2.3** Windows on upper floors shall be kept in their original appearance and configuration. The enclosing or bricking in of windows shall not be permitted.

**4.2.4** When replacing upper floor windows, match the original in configuration and, where possible, materials. When replacing all windows in a certain area, **alternative materials may be acceptable if they closely match the visual characteristics of the original.**

**4.2.5** If replacement of a deteriorated facade feature is necessary, replace only the deteriorated element to match the original in size, scale, proportion, material, texture and detail.

**4.2.6** When reconstructing a historic facade or feature, base the design on historical research and evidence. Maintain the original proportions, dimensions and architectural elements. If no evidence of the design of the feature exists, a new design, compatible with the overall character of the building, must be used.



*Retention of historic upper facade features increases structural continuity and enhances the buildings presence within the context of other buildings in the historic overlay.*

**4.2.7** If new construction of an upper facade is necessary, make sure that the design is compatible with the existing structures in the district including size & spacing of windows or other fenestrations, proportion, scale, and detailing.

## Side and Rear Facades

### Side Facades

Many commercial buildings in downtown Winchester have side facades that can be seen from public streets, parking lots, sidewalks, and alleyways. As with the primary front facade, these side elevations are important character-defining elements of the downtown historic district. Usually, these facades exist on corner buildings fronting on two streets, but can also occur mid-block where the adjacent property is vacant or is an alleyway.

### Rear Facades

The rear facade is also important to the historic character of the building and district. The rear elevation provides access for merchants, their workers, and in some cases, customers. It also continues the same general material treatments as front and side facades. More often than not, rear entrances on downtown commercial structures serve as a service entry and, as a result, are the location of any necessary mechanical equipment and garbage receptacles. This translates into a less detailed design with a more private appearance than front and side facades that face public rights-of-way.

There are some instances in downtown where the rear facade serves as public or semi-public access. Usually, the design of these facades reflects this public utility resulting in an elevation with similar detailing to its primary facade that is more inviting to the consumer or general public.

### 4.3 Side and Rear Facade Guidelines

**4.3.1** Retain and preserve historic facade details and materials on side and rear elevations.

**4.3.2** Historic painted advertisements represent an important historic element in downtown. While not required, it is recommended that they be preserved whenever possible.

**4.3.3** Whenever a side or rear facade can be seen from the public right-of-way or parking area, it is encouraged that any unnecessary utility lines, mechanical equipment, pipes, [etc. be](#) removed. Whenever introducing new utility or service features such as mechanical units and garbage receptacles, screen them from public view with fences, low walls, or landscaping.

*“Maintaining the historic character of side and rear facades is just as important as the upkeep of storefronts and upper facades.”*

**4.3.4** If replacement of a deteriorated facade feature is necessary, replace only the deteriorated element to match the original in size, scale, proportion, material, texture and detail.

**4.3.5** When reconstructing a historic facade or feature, base the design on historical research and evidence. Maintain the original proportions, dimensions

**4.3.6** If there is historic evidence of a public entrance on a rear facade, rehabilitate the facade to provide for an attractive access from rear parking areas.

**4.3.7** Downtown buildings with rear access should use small signs or awnings to provide for visual identification.

**4.3.8** If new construction of a side or rear facade is necessary, make sure that the design is compatible with the existing structures in the district including size & spacing of windows or other fenestrations, proportion, scale, and detailing.



# Materials & Details

## Architectural Details & Ornamentation

Architectural details in downtown Winchester include everything from simple masonry treatments such as corbelled brick and stringcourses to very detailed ornamentation like cast iron, stone relief, and wooden & masonry cornices. Variations in material, fenestration, and paint color all contribute to the level of ornamentation on the individual structure.

### 4.4 Architectural Details & Ornamentation Guidelines

**4.4.1** Retain and preserve any architectural features and details that are character-defining elements of downtown structures, such as cornices, columns, brickwork, stringcourses, quoins, etc.

**4.4.2** If replacement of an architectural element is necessary, use new materials that match the historic materials in composition, size, shape, color, pattern, and texture. Consider substitute materials only if the original materials are not technically feasible.

**4.4.3** It is not appropriate to remove or cover any character-defining detail or ornamentation. If original features are currently covered, it is encouraged that these features be uncovered, exposed, and repaired.

**4.4.4** If the entire architectural detail is missing, design the replacement feature based on historic documentation. If there is no documentation, but evidence that the element was originally on the building, any new design must be compatible with the historic character of the building and district.



## Windows and Doors

Windows and doors by their proportion, shape, positioning, location, pattern, and size contribute significantly to a building's historic character and are particularly indicative of stylistic periods. These openings in a building's exterior also provide opportunities for natural light, ventilation, and visual connections to the interior.

### 4.5 Windows and Doors Guidelines

**4.5.1** Retain and preserve original windows and doors whenever feasible.

**4.5.2** Retain and preserve openings and details of windows and doors, such as trim, sash, glass, lintels, sills, thresholds, shutters, and hardware.



*The style of many of Winchester's historic buildings is expressed in their doors and in their windows. It is always desirable to retain these unique features.*



**4.5.3** It is not appropriate to replace windows or doors with stock items that do not fill the original openings or duplicate the unit in size, and design.

**4.5.4** Protect and maintain existing windows and doors in appropriate ways:

- Maintain caulking and glazing putty to prevent air or water infiltration around glass.
- Weatherstrip windows and doors to prevent moisture and air infiltration.
- Check sills and thresholds to ensure that water runs off and does not collect.
- Maintain a sound paint film on all wooden windows and doors.
- Monitor the condition of wooden windows and doors.

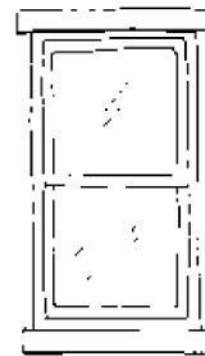
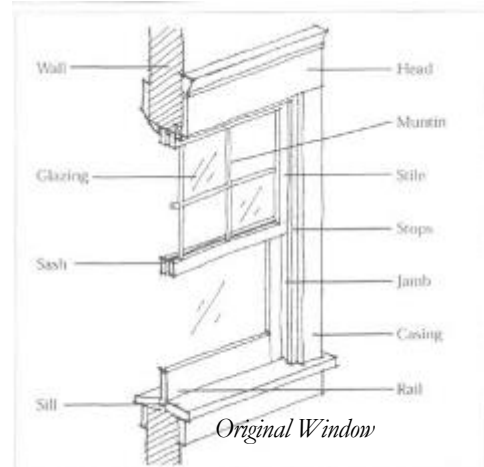
**4.5.5** Repair original windows, doors, and frames by patching, splicing, consolidating, or otherwise reinforcing deteriorated sections.

**4.5.6** Construct replacement shutters of wood, size them to window openings, and mount them so that they are operable. It is not appropriate to introduce window shutters where no evidence of earlier shutters exists.

**4.5.7** The use of reflective or highly tinted glass is discouraged.

**4.5.8** Do not fill in existing window or door openings or to replace or cover them with plywood.

**4.5.9** It is not appropriate to introduce new windows or doors if they would diminish the original design of the building or damage historic materials and features. Keep new windows and doors compatible with existing units in proportion, shape, positioning, location, size, and details. **Alternative materials for windows and doors may be acceptable if they closely match the visual characteristics of the original.**



*Inappropriate Alterations/Replacements to Windows*



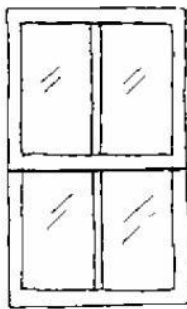
*Inappropriate Alterations/Replacements to Doors*



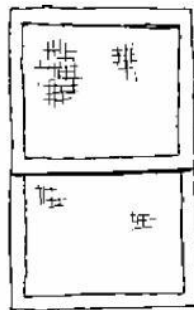
**4.5.10** If a new window or door is required to meet building and safety codes, it must be done in a way that is the least intrusive to the facade without destroying historic materials and features.

**4.5.11** If exterior storm windows are desired, they must have little visual impact. Storm windows must be painted to match the building and the color of the window sash. Storm windows must match the existing in size and proportion. Install them so that existing windows and frames are not damaged or obscured.

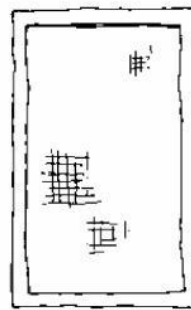
***Storm Windows and Screens Must Align With Sash***



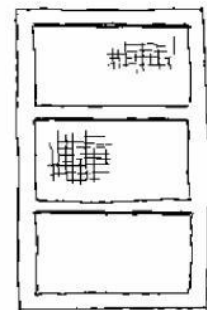
*Historic Window*



*Appropriate*

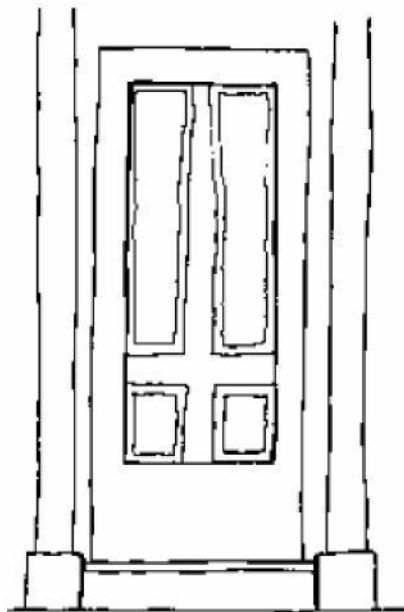


*Appropriate*



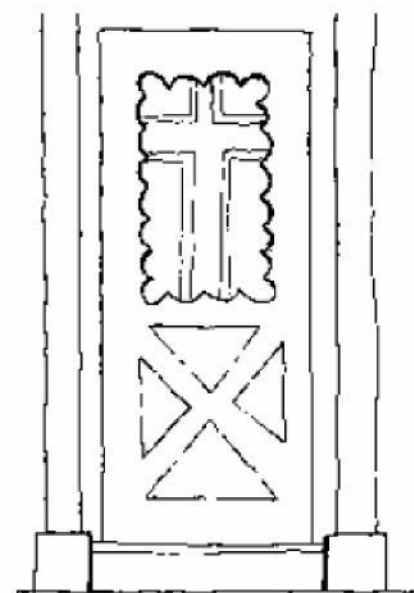
*Inappropriate*

***Appropriate***



*The historic door's appearance can be seen.*

***Inappropriate***



*The historic door's appearance is obscured.*

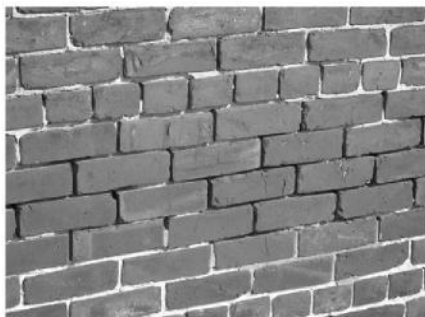
## Masonry

By far, the primary construction material in Winchester's downtown historic district is brick.

Brick, stone, terra-cotta, concrete, stucco, and mortar are all typical masonry materials found on the exterior of historic Winchester buildings. The texture, the scale, the color, the bonding pattern, the joints, and the detail of masonry surfaces all contribute to the overall character of the historic building. Masonry features such as chimneys, arches, quoins, lintels, sills, cornices, and pediments further define a building's historic character.

### Maintenance and Repair

Masonry surfaces are relatively long-lasting and require little maintenance. Moisture is the most common cause of deterioration in masonry. If water can enter the wall, the roof, or the foundation through loose masonry joints or cracks, it will cause additional damage as it works its way through the structure. Typically, mortar joints slowly deteriorate over a period of years because of exposure to the elements. The deterioration allows moisture to penetrate brick walls or foundations. Consequently, the life of a brick or stone wall depends on proper maintenance of its mortar joints. The process of replacing deteriorated mortar joints with new mortar is called repointing. All loose and deteriorated mortar is carefully raked out of the joint by hand, and new mortar is inserted. To maintain the historic character and the structural integrity of the wall, the original mortar should be matched in composition, color, texture, and strength. The dimension and the profile of the original mortar joint should also be duplicated.



*Mortar joints naturally deteriorate over time.*



*Maintaining a sound paint film on previously painted masonry elements can help protect historic features.*

Heavy soiling or vegetation that allows moisture to remain on a masonry surface contributes to the deterioration of masonry elements. If cleaning is necessary, the gentlest method possible must be used. Periodic cleaning with simple techniques such as steam cleaning or low-pressure water washing with or without a mild detergent, complemented by scrubbing the surface with a natural bristle brush where needed, is generally all that is necessary. If these techniques are not successful, chemical masonry cleaners may be indicated. Chemical cleaners must always be tested on an inconspicuous area well in advance to determine if they cause any discoloration or damage to the masonry. High-pressure cleaning techniques such as sandblasting and waterblasting, because of their abrasive nature, permanently damage the surface of historic masonry and accelerate its deterioration. Consequently, such techniques are not appropriate in the historic district.



## 4.6 Masonry Guidelines

**4.6.1** Retain and preserve original masonry walls, foundations, and roofs.

**4.6.2** Retain and preserve all masonry construction features that are character-defining elements of historic buildings, including walls, foundations, roofing materials, corbels, chimneys, piers, arches, quoins, cornices, and lintels.

**4.6.3** Retain and preserve historic masonry materials whenever possible. If replacement is necessary, use new masonry materials and mortar that match the historic materials in composition, size, shape, color, pattern, and texture. Consider substitute materials only if the original materials are not technically feasible.

**4.6.4** It is not appropriate to apply paint or other coatings to unpainted masonry elements that were historically not coated.

**4.6.5** It is not appropriate to apply nontraditional masonry coatings such as waterproofing and water repellents to masonry as a substitute for repointing or repair. Use such coatings only if masonry repairs have failed to eliminate water-penetration problems.

**4.6.7** Removal of paint from masonry surfaces is encouraged when the brick is of high quality and was intended to be exposed. Undertake removal only with a chemical paint remover specifically formulated for masonry. Always test the remover on an inconspicuous area or a test panel first.

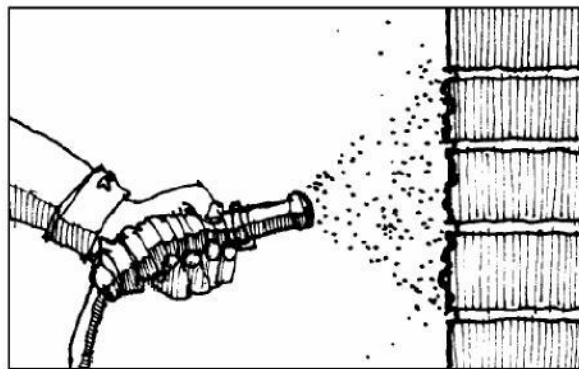


*Detail elements of a historic masonry storefront.*



*Historic building materials or features should not be covered.*

**4.6.8** When removing paint from a masonry surface, use the gentlest means possible. High-pressure water cleaning (greater than 500 PSI) or other harsh methods can destroy the surface of historic brick and damage the mortar between bricks.



*Use approved technical procedures for cleaning, refinishing and repairing historic materials. Harsh cleaning materials, such as sandblasting and circular sanding can damage the historic materials, changing their appearance. Such procedures are not appropriate. The National Park Service Bulletin on Masonry is a helpful resource:*

<http://www.cr.nps.gov/hps/tps/briefs/brief02.htm>

**4.6.9** Protect and maintain historic masonry in appropriate ways:

- Monitor masonry for cracks and signs of moisture damage.
- Ensure that water does not collect at the base of a masonry foundation or chimney.
- Clean masonry only if necessary to remove heavy soiling or prevent deterioration.
- Eliminate any vegetation that may cause structural damage or hinder ventilation and surface drainage of a masonry element.
- Use the gentlest means possible to clean historic masonry. Cleaning with a low-pressure (500 pounds per square inch or less) water wash, using detergents and natural bristle brushes, is preferred over harsher methods.
- Test any proposed cleaning method on an inconspicuous sample area first.



*Vegetation growing freely on a wall can hasten the deterioration of historic brick and masonry elements.*

**4.6.10** If cracks in mortar joints, crumbling mortar, loose bricks, damp walls, or damaged plaster indicate deterioration, repoint mortar joints of masonry surfaces in appropriate ways:

- Carefully remove deteriorated mortar by hand-raking the joints. Using electric saws or hammers can damage the masonry.
- Duplicate the strength, the composition, the texture, and the color of the original mortar. Replacing a softer mortar with one high in portland-cement content can cause serious damage to existing masonry.
- Duplicate the width and the joint profile of the original mortar joints.



*The masonry elements in the Kerr building get a facelift with appropriate repointing techniques..*

**4.6.11** Do not use high-pressure cleaning methods such as sandblasting on historic masonry surfaces. Such cleaning techniques permanently damage the masonry surface and accelerate deterioration by removing the outer edge and exposing the softer inner core of the brick.

# Wood

Window sashes, doors, bulkheads below display windows, and cornices are the most common wooden design elements found in downtown Winchester. The functional and decorative detailing wood provides is an important part of the historic character of the building and district.

## Maintenance and Repair

Wood is a traditional building material with good insulating qualities. It will last indefinitely if it is kept properly caulked and painted. Because wood expands with the introduction of moisture, caulks and flexible sealants are typically used to seal wood joints and prevent the entry of water beneath the wood surface. Paints and coatings on the wood surface protect it from deterioration due to ultraviolet light as well as moisture. The guidelines for paint provide additional information on the preparation and the maintenance of painted surfaces.

Stains or evidence of mildew indicates that a wood surface is remaining damp, inviting insect and fungal attacks as well as wet rot. Wooden elements should be sloped to shed water, and roof and gutter systems should provide additional protection to the surface. Chemical treatment of wooden members either during manufacture or following installation can enhance wood's ability to resist rot and insect infestation. Some chemical treatments result in an initial resistance to surface paint films, requiring a weathering period of a few months before painting. Chemical treatment is particularly advantageous if the wooden element is to remain unpainted or is in direct contact with the ground.

The repair of deteriorated wooden elements or details may require partial replacement of the original wood or the introduction of a wood consolidant to stabilize the deteriorated section and prevent further decay. Wood consolidants are particularly appropriate when they prevent the removal of decorative details and trim that cannot easily be replicated or when replacement of the deteriorated section of a larger element would be difficult to achieve in place.

## 4.7 Wood Guidelines

**4.7.1** Retain and preserve all wooden features that are character-defining elements of a historic building, such as siding, shingles, brackets, cornices, balustrades, columns, pediments, and architraves.

**4.7.2** Retain and preserve historic wooden fabric whenever possible. If replacement is necessary, use new wood that matches the original in dimension, shape, detail, and texture.

**4.7.3** Repair original wooden elements and details by patching with wood or epoxy, splicing, consolidating, or otherwise reinforcing deteriorated sections.

**4.7.4** If replacement of a wooden element or detail is necessary, replace only the deteriorated element to match the original in size, scale, proportion, material, and detail.

**4.7.5** It is not appropriate to replace wooden siding, trim, or window sash with contemporary substitute materials such as vinyl or aluminum.

**4.7.6** Protect and maintain wood surfaces and elements in appropriate ways:

- Inspect wood surfaces and features regularly for signs of damage from moisture, insects, fungi, or mildew.
- Monitor the condition of wood surfaces and features. Note: Both the peeling of paint and the widening of wood joints may create the false appearance of deteriorated wood.
- Keep wooden joinery adequately sealed to avoid water penetration.
- Maintain a slope on horizontal wood surfaces, such as porch flooring or window sills, to ensure that water does not collect but runs off.
- Maintain roofs, gutters, and downspouts to protect wood surfaces and features from water damage.
- Prime all exposed wood surfaces before painting.

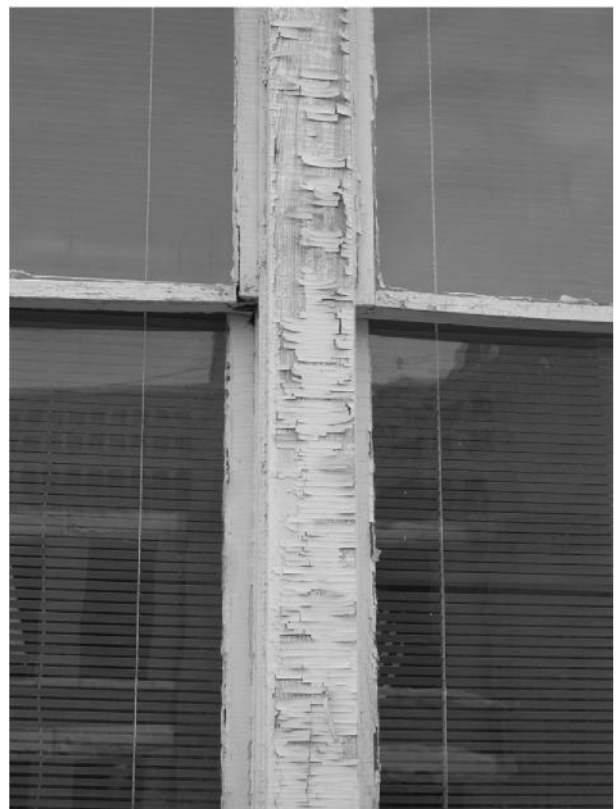
**4.7.7** Maintain a sound paint film or other coating on wood to prevent damage from ultraviolet light and moisture.

**4.7.8** Do not clean wood surfaces with high-pressure methods, such as sandblasting and waterblasting.

**4.7.9** It is not appropriate to overexpose wood surfaces to caustic chemical strippers that will raise the grain of the wood and roughen the surface texture.



*Wooden elements can be found in ceilings and other details of a historic storefront.*



*Water, rain and sun can deteriorate historic wooden elements.*

## Architectural Metals

Cast iron, wrought iron, copper, tin, sheet metal, aluminum, steel, and bronze are all traditional architectural metals that contribute to the architectural character of historic buildings in downtown Winchester through their distinctive forms, finishes, and details.



A protective paint film is essential for metals that corrode, or rust, when exposed to air and moisture. Consequently, routine maintenance of painted metal surfaces includes prompt attention to any signs of deterioration of the paint film and subsequent corrosion. If the metal surface has begun to flake and rust, it must be thoroughly cleaned before repainting. Because the corrosion continues as long as the metal is exposed to air, immediate painting with a metal primer after cleaning is essential to prevent deterioration of the metal.

Cleaning techniques vary according to the specific metal. Chemical solutions are typically used on soft metals such as lead, tin, copper, zinc, and terneplate. Copper and bronze surfaces develop a protective greenish patina over time, and it is generally desirable to maintain that patina and the protection that it provides.

Wire brushing and hand scraping are appropriate techniques for cleaning hard metals, such as steel and cast or wrought iron. A more abrasive technique, such as low-pressure dry-grit blasting, should only be used if gentler techniques are unsuccessful and if a test area reveals no damage to the metal surface.

If repair of a deteriorated metal element requires replacement of a metal section, it is important to match the original metal in kind to avoid corrosive galvanic reactions where the metals join.

## 4.8 Architectural Metal Guidelines

**4.8.1** Retain and preserve original architectural metals, including cast iron, wrought iron, steel, pressed tin, copper, aluminum, and zinc, as well as their finishes and colors.

**4.8.2** Retain and preserve architectural metal features that are character-defining elements of a historic building or site, including fences, gates, cornices, rails, roofs, gutters, downspouts, and hardware.

**4.8.3** Retain and preserve historic metal fabric whenever possible. If replacement is necessary, use new metal that matches the original in composition, dimension, shape, detail, and texture. Consider substitute material only if the original material is not technically feasible.



**4.8.4** If replacement of an architectural metal element or detail is necessary, replace only the deteriorated element to match the original in size, scale, proportion, material, and detail.

**4.8.5** Repair original architectural metal elements and details by patching, splicing, consolidating, or otherwise reinforcing deteriorated sections.

**4.8.6** Protect and maintain historic architectural metals in appropriate ways:

- Monitor metal for cracks and signs of deterioration or corrosion.
- Clean metal when necessary to remove corrosion before repainting or coating.
- Maintain a sound paint film or other coating on metals that corrode.

**4.8.7** Use the gentlest means possible to clean historic architectural metals, including appropriate chemical solutions for soft metals and wire brushing or handscraping for hard metals.

**4.8.8** It is not appropriate to clean soft metals, such as lead, tin, copper, zinc, and terneplate, using a high-pressure technique like sandblasting. If wire brushing and handscraping prove ineffective in cleaning hard metals, such as steel, cast iron, and wrought iron, use low-pressure dry-grit blasting if it will not damage the metal surface.

## **Paint**

Masonry, the primary building material in downtown Winchester, was historically not painted. Therefore, most of the brick or stone structures in downtown are unpainted and take on the natural color of the brick, granite or other masonry material of which it is constructed. There are instances, however, where a brick wall has been painted - sometimes in order to provide a protective coating to deteriorated brick.

Since painting of unpainted masonry surfaces is not recommended, repainting of previously painted masonry and stucco using compatible paint coatings after proper cleaning and preparation is recommended. Some painted brick structures in downtown Winchester have been restored to their original, natural brick finish.

### **Paint Application and Maintenance**

Proper preparation and application of paint films is critical in preserving most historic exterior wood and metal surfaces. Although copper, bronze, and stainless steel surfaces are intended for direct exposure to the elements, paint protects all other metal surfaces from corrosion due to exposure to air and water. Also, paint helps protect wood surfaces from the effects of weathering due to moisture and ultraviolet light. Consequently, maintaining a sound paint film on most metal and wood surfaces is essential to their long-term preservation.

Maintaining wood surfaces that were previously painted requires routine cleaning of the surface. Often the perceived need to repaint may be eliminated with the removal of the surface dirt film through conventional washing. However, repainting is called for if the paint film itself is deteriorated or damaged. Proper preparation includes removal of all loose or detached paint down to the first sound paint layer. It is unnecessary and undesirable to remove additional sound paint layers to expose bare wood, particularly if the wood will remain uncoated for any length of time. It is always best to remove loose paint layers with the gentlest methods possible. Hand-scraping and hand-sanding are often all that is needed. Destructive methods such as sandblasting or water-blasting and the use of propane or butane torches are never appropriate for historic wood surfaces because of the permanent damage that they will cause to the wood surface itself. Electric heat plates, hot air guns, and chemical paint strippers are appropriate only if gentler techniques have failed.

Before it is repainted, any exposed wood must always be primed with a compatible primer coating. If a surface is damp or soiled, the new paint film will not adhere correctly, and the wet surface may take up to two weeks to dry out completely. Once the surface is clean and dry, the application of a compatible paint coating will result in continued protection of the wood surface.

Painted metal surfaces require similar inspection and routine cleaning before repainting. However, for metals, it is critical that all corrosion be removed and a primer coat be applied immediately to protect the surface from additional corrosion. If cleaning loose paint and corrosion from hard metals such as cast iron, wrought iron, and steel by hand-scraping and wire brushing is unsuccessful, low-pressure grit blasting may be necessary. It is always best to test such techniques in an unobtrusive area first to determine if there will be any damage to the metal surface.



## 4.9 Paint Guidelines

**4.9.1** Do not paint unpainted brick and stone. Do not try to paint copper or bronze features.

**4.9.2** Protect original building material that was painted by maintaining a sound paint film.

**4.9.3** Maintain previously painted surfaces in appropriate ways:

- Inspect painted surfaces to determine if repainting is necessary or if cleaning the surfaces will suffice.
- Use the gentlest techniques possible, such as hand scraping and hand sanding with wood or brick, and wire brushing and hand sanding with metals, to remove loose paint layers down to a sound paint layer. Employ electric heat guns, heat plates, and chemical paint strippers only when gentler methods are not successful and more thorough removal is necessary, and use them with caution.
- Follow proper surface preparation, applying compatible paint-coating systems, including priming all exposed wooden surfaces.
- Apply new paint only to clean, dry surfaces to ensure that it will properly bond.

**4.9.4** While specific colors are not addressed in these guidelines for downtown buildings, it is encouraged that selected paint colors be appropriate to the historic building and district.

**4.9.5** Enhance the architectural character of a historic building through appropriate placement of exterior paint colors.



## Safety and Accessibility

A new use or a substantial rehabilitation of a historic building in downtown Winchester can result in requirements to meet contemporary standards for both life safety and accessibility to people with disabilities. The Kentucky State Building Code and the federal guidelines for adhering to the Americans with Disabilities Act of 1990 both provide some flexibility in compliance when dealing with historic buildings. Review of proposed exterior alterations to meet life safety and accessibility standards is based on whether the alteration will compromise the architectural and historic character of the building and the site.

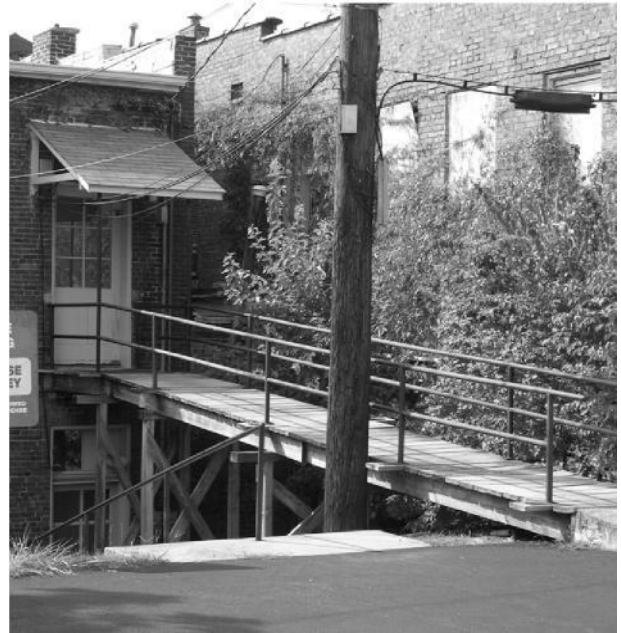
Introducing a large feature on the exterior of a historic building without destroying or diminishing significant architectural features is clearly a challenge. Likewise, adding an exterior fire stair or fire exit requires careful study of all alternatives. Regardless of the magnitude of an alteration to a historic building, temporary and reversible changes are preferred over permanent and irreversible ones.

### 4.10 Safety and Accessibility Guidelines

**4.10.1** Review proposed new uses for existing historic buildings to determine if related building code and accessibility requirements are feasible without compromising the historic character of the building and the site.

**4.10.2** Meet health and safety code and accessibility requirements in ways that do not diminish the historic character, features, materials, and details of the building.

**4.10.3** Where possible, locate fire exits, stairs, landings, and decks on rear or inconspicuous side elevations where they will not be visible from the street.



**4.10.4** It is not appropriate to introduce new fire doors if they would diminish the original design of the building or damage historic materials and features. Keep new fire doors as compatible as possible with existing doors in proportion, location, size, and detail.

**4.10.5** When introducing reversible features to assist people with disabilities, take care that the original design of the porch or the entrance is not diminished and historic materials or features are not damaged.

**4.10.6** If possible, comply with accessibility requirements through portable or temporary, rather than permanent, ramps.

## **Utilities & Energy Retrofit**

Many features of historic buildings in downtown Winchester are inherently energy efficient. For example, operable transoms, windows, awnings, and shutters provide opportunities for conserving energy. Capitalizing on energy-efficient historic features and sensitively retrofitting historic buildings can maximize their energy-conserving potential.

Often, the energy efficiency of older windows is compromised when the weatherstripping around the sash is not maintained and the glazing compound that seals the glass panes within the wooden sash deteriorates. Weatherstripping around doors should be maintained as well, to prevent air infiltration. Once existing windows have been repaired as needed, storm windows can be installed to provide a second barrier to the elements. Care must be taken not to damage or obscure the windows and the doors in the process. Interior storm windows are encouraged as an alternative to exterior storm windows. However, exterior storm windows with a painted or baked-enamel finish in a color appropriate to the color of the building are acceptable. Stained or painted wooden storm doors with large glass panels are also acceptable.

Utility work on the public right-of-way or on private property may require a certificate of appropriateness. For example, the installation of a new mechanical box on the sidewalk in downtown would require a certificate.

When introducing new mechanical and electrical equipment and lines, care must be taken that historic features of the building are not damaged or obscured. All such equipment must be located in the least visible location and appropriately screened.

Large antennas, satellite dishes, and communication equipment are intrusive, but would be appropriate if installed in inconspicuous areas on the building or lot and screened from view – such as on a rooftop behind a parapet wall.

### **4.11 Utilities and Energy Retrofit Guidelines**

**4.11.1** Retain and preserve the inherent energy-conservation features of a historic building, such as operable windows, transoms, awnings, and shutters.

**4.11.2** Improve thermal efficiency by installing weatherstripping, storm windows, caulk, and if they are historically appropriate, awnings and shutters.

**4.11.3** Shall not replace transparent glass in windows and doors with tinted or mirrored glass.

**4.11.4** Shall not replace multiple-paned doors or window sashes with thermal sashes using snap-in, false muntins, or muntins between the glass.

**4.11.5** Generally, it is not appropriate to replace operable windows or transoms with fixed glass.

**4.11.6** Install storm windows so that the existing windows and frames are not damaged or obscured. Select exterior storm windows that are coated with paint or a baked-enamel finish in a color appropriate to the color of the building. Storm windows must be of an appropriate size and proportion so they match the existing window.

**4.11.7** If awnings are historically appropriate, install them in door or window openings so that architectural features are not concealed or historic materials damaged. Select colors appropriate to the color of the building.

**4.11.8** If wooden shutters are historically appropriate, install them sized to window openings and mounted so that they are operable.

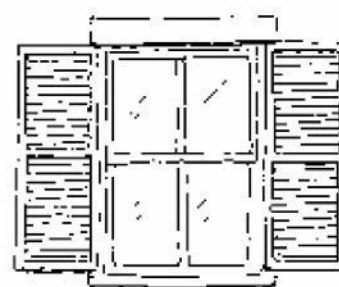
**4.11.9** Locate roof ventilators, hardware, antennas, and solar collectors inconspicuously on roofs where they will not be visible from the street.

**4.11.10** Install mechanical equipment, including heating and air conditioning units, in areas and spaces requiring the least amount of alteration to the appearance and the materials of the building such as roofs. Screen the equipment from view.

**4.11.11** Locate exposed exterior pipes, wires, meters, and fuel tanks on rear elevations or along an inconspicuous side of the building. Screen them from view.

**4.11.12** Locate window air-conditioning units on rear or inconspicuous elevations whenever possible.

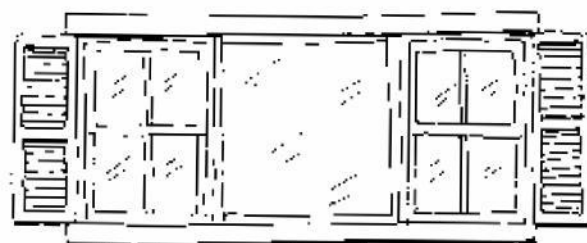
**4.11.13** It is not appropriate to install large antennas and satellite dishes in the historic district. Small, digital satellite dishes must not be visible from a public street and must be screened from view.



*Appropriate shutter treatment*



*Inappropriate*



*Inappropriate*

## V. NEW CONSTRUCTION

### New Construction Guidelines

The face of downtown Winchester has constantly been in a state of change. While most of this change has been due to the alterations or restoration of historic structures, there have also been a number of new construction projects. Winchester has been fortunate to see excellent examples of infill development.

Guidelines for new construction are to ensure that the district's architectural and material vocabulary is respected. The height, the proportion, the roof shape, the materials, the texture, the scale, the details, and the color of the proposed building must be compatible with existing historic buildings in the district. However, compatible contemporary designs rather than historic duplications are encouraged.



*Appropriate infill reflects the pedestrian nature of a downtown and expresses a consistency with the size and scale of existing buildings.. (Colorado location)*



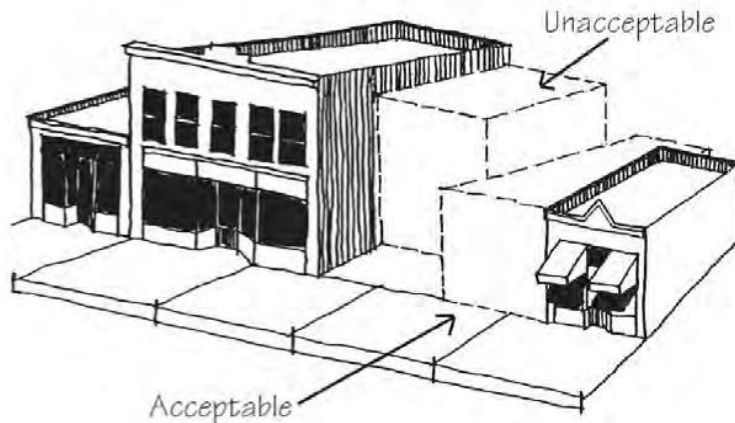
*Contemporary structures that express the fundamentals of a traditional storefront are encouraged where infill construction occurs.*



*A new commercial storefront should incorporate traditional storefront elements such as display windows and transoms.*

## 5.1 Building Setbacks & Orientation on Lot

Perhaps one of the most important considerations of a new design is that it continue the building line of the existing streetscape by using similar setbacks as adjacent structures. Most of downtown is zoned with a zero-setback line. Therefore, structures can not only be built directly to the right-of-way, but also can abut adjacent structures. The accommodation of an automobile dependent society has resulted in downtown commercial development that is oriented to the car and not the pedestrian. This type of development with buildings set-back far from the road and paved parking areas in front of the structure is entirely incompatible in a historic downtown.



*Building set back too far in a continuous block face. Downtown Winchester has historically developed with structures being built out to the property line.*

**5.1.1** Keep the setback of the proposed building consistent with the setback of adjacent district buildings or nearby district buildings fronting on the same street. Buildings must be built close to the property line to continue the overall building line of the streetscape.

**5.1.2** Make the distance between the proposed building and adjacent buildings compatible with the spacing between existing district buildings. Most buildings in downtown share interior walls.

**5.1.3** In downtown, buildings must be oriented toward the street with the main pedestrian access in the front.

**5.1.4** If parking is to be included in the design of a new construction project, it must be located in the rear of the building or in an interior portion of the block. Access to parking can be from alleyways, side streets, or other parking areas. If possible, allow for pedestrian access from the parking areas at the rear of the building.

**5.1.5** If parking abuts a street, it should be screened from view by landscaping and/ or a low brick wall.

## 5.2 Size and Scale

**5.2.1** A new building in the downtown must respect the size and scale of existing historic structures. Most buildings in downtown are three or four stories, but there are some that are smaller and only a few that are significantly larger.



*The size and structure of an infill property must continue the rhythm of the existing historic buildings.*

**5.2.2** Design the height of the proposed building to be compatible with the height of historic buildings on the block or the street. There is a variety of heights of downtown buildings, so flexibility in height is appropriate as long as the overall scale of the new building and adjacent buildings are compatible.



**5.2.3** Buildings of larger scale should provide for various landscaping and pedestrian amenities. Pedestrian access must be provided in and through the site.

**5.2.4** Buildings on the interior of a continuous block face must be no more than one story taller than the adjacent structures. Buildings on corners can be larger in scale than adjacent structures.

**5.2.5** A building's overall proportion (ratio of height to width) must be consistent with existing historic structures.

## **5.3 Materials, Design Elements, and Rhythm**

**5.3.1** Design elements of the building itself should also be a consideration in the appropriateness of new construction in the historic district. Materials, architectural features, and the scale and rhythm of facade elements must be similar to that of existing historic structures.

**5.3.2** Compatible designs are encouraged instead of historic copies or reproductions.

**5.3.3** Use materials that are similar to those commonly found in the district such as brick, stone, and metal.

**5.3.4** Architectural details such as windows, arches, and cornices must complement that of existing historic structures.

**5.3.5** Aluminum cladding is not appropriate.

**5.3.6** Vinyl and plastic siding shall not be used.

**5.3.7** The size and rhythm of a building's fenestration (doors and windows) must be compatible with existing structures in the district.



*The new bank on North Main Street has materials and a rhythm that fits into the character of Winchester's downtown.*

**5.3.8** New windows and doors must be compatible in proportion, shape, position, location, pattern, and size with windows and doors of contributing structures in the district.

**5.3.9** Contemporary construction that does not directly copy from historic buildings in the district but is compatible with them in height, proportion, roof shape, material, texture, scale, detail, and color, is strongly encouraged.



## **Additions**

The introduction of additions compatible with historic buildings in Winchester's downtown historic district is acceptable if the addition does not visually overpower the original building, compromise its historic character, or destroy any significant features and materials. By placing additions on inconspicuous elevations and limiting their size and height, the integrity of the original buildings can be maintained. It is important to differentiate the addition from the original building so that the original form is not lost. Additions must be designed so that they can be removed in the future without significant damage to the historic building or loss of historic materials. Also, as with any new construction project, the addition's impact on the site in terms of loss of important landscape features must be considered.

The compatibility of proposed additions with historic buildings in downtown Winchester will be reviewed in terms of the mass, the scale, the materials, the color, the roof form, and the proportion and the spacing of windows and doors. Additions that echo the style of the original structure and additions that introduce compatible contemporary design are both acceptable.

### **5.4 Additions Guidelines**

**5.4.1** Locate additions as inconspicuously as possible, on the rear or least character-defining elevation of historic buildings.

**5.4.2** Construct additions so that there is the least possible loss of historic fabric. Also, ensure that character-defining features of the historic building are not obscured, damaged, or destroyed.

**5.4.3** Limit the size and the scale of additions so that they do not visually overpower historic buildings.

**5.4.4** Design additions so that they are compatible with the historic building in mass, materials, color, and proportion and spacing of windows and doors. Either reference design motifs from the historic building, or introduce a design that is compatible with the historic building.

**5.4.5** Design additions so that they can be removed in the future without damaging the historic building.

**5.4.6** It is not appropriate to construct an addition that is taller than the original building.

## **5.5 Rear Decks, Terraces, & Rooftop Decks Guidelines**

**5.5.1** Locate decks and terraces as inconspicuously as possible, on the rear or least character-defining elevation of historic buildings.

**5.5.2** Construct decks and terraces so that there is the least possible loss of historic fabric. Also, ensure that character-defining features of the historic building are not obscured, damaged, or destroyed.

**5.5.3** Screen decks and terraces from public view with appropriate landscaping.

**5.5.4** If a new deck is to be constructed, its design should be compatible in materials and detail with the main building.

**5.5.5** When adding a rear deck to a historic structure, it must be designed so that it could be removed in the future without any loss to the historic fabric of the existing building.

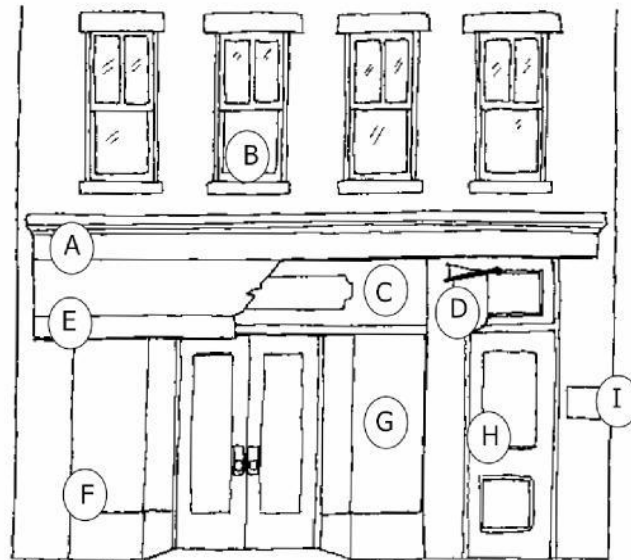
## VI. SITE FEATURES

### Signage & Awnings

Signs, as much as the buildings in which they serve, can contribute greatly to the overall sense of place of downtown —positively or negatively. The purpose of design review of signs and awnings is to ensure that design, location, materials, and colors are consistent with the character and scale of the building and are in keeping with the historic nature of downtown while also promoting and accommodating retail and street activity.

Signs in the downtown come in many different forms. Wall, projecting, awnings, window, and sandwich board signs are among those most commonly found in the district.

For further information, see the City of Winchester's Code of Ordinances, Article III, Section 11-41—11-70 (Signs in Central Business District).



*Signs in Downtown Winchester can have many locations on a historic facade.*

- |                            |                                      |
|----------------------------|--------------------------------------|
| A. Cornice Sign            | F. Lower Display Window Sign         |
| B. Upper-Floor Window Sign | G. Central Display Window Sign       |
| C. Transom Sign            | H. Glazed Door Sign                  |
| D. Hanging Sign            | I. Wall Sign for Upper Floor Tenants |
| E. Awning Sign             |                                      |

## 6.1 Sign Guidelines

**6.1.1** Retain and preserve signage that is original or is important in defining the overall historic character of a building.

**6.1.2** Signs must be compatible with the architectural character of the building in size, scale, materials and style. If possible, base new sign designs on historic documentation such as old photographs.

**6.1.3** Use traditional materials commonly found on turn-of-the century commercial buildings such as wood, metal, or stone or use modern materials that have the appearance of traditional.

**6.1.4** Whether they are wall-mounted, freestanding, affixed to awnings, or placed on the sidewalk, signs must be placed in locations that do not obscure any historic architectural features of the building or obstruct any views or vistas of historic downtown.

**6.1.5** Wall signs must be flush-mounted on flat surfaces and done in such a way that does not destroy or conceal architectural features or details.

**6.1.6** Wall-mounted signs on friezes, lintels, spandrels, and fascias over storefront windows must be of an appropriate size and fit within these surfaces.



*Storefront signs (shaded areas, above) must be located in places that will not obstruct historic details.*

**6.1.7** Projecting signs are appropriate provided that:

- They project no more than 5 feet from the building facade or past the sidewalk line (whichever is less).
- The sign area is no greater than eight square feet,
- The sign bottom shall be not less than seven nor more than eight feet above the sidewalk.

**6.1.8** Install freestanding signs appropriately, such as on well-landscaped ground bases or low standards.

**6.1.9** Signs illuminated from within are generally not appropriate. Lighting for externally illuminated signs must be simple and unobtrusive and must not obscure the content of the sign or the building facade.



*A sign that is compatible with the character of a building can enhance a historic storefront and draw in pedestrian traffic.*



Design Guidelines for the Winchester Downtown National Register District

## 6.2 Awning Guidelines

**6.2.1** Awnings should be made of cloth or other woven fabric such as canvas. Metal awnings are generally not appropriate, but can be used in some instances if they are compatible with the historic character of the building. Vinyl or plastic awnings are not appropriate.

**6.2.2** Base the design of new awnings on historic documentation of the building or examples from buildings of similar style and age. Awnings for new buildings must be of similar materials, size, and scale of that commonly found in the historic district.

**6.2.3** Mount awnings in a manner that does not obscure or damage historic architectural features of the building. Awnings must be placed appropriately above the transom and projecting over individual window or door openings. They must fit within the window or door opening. A continuous awning is not appropriate.

**6.2.4** Back-lit awnings or those with interior illumination are not appropriate in the historic districts.

**6.2.5** Select awning colors that are appropriate to the design of the building.

For further information, see the City of Winchester's Code of Ordinances, Article III, Section 11-41—11-70 (Signs in Central Business District).



*A variety of awning styles appear in Winchester's historic downtown.*

## **Parking & Paving**

Parking areas serve a utility function more than anything else. They provide vehicular access to the consumer while also facilitating various service functions and commercial deliveries. With appropriate paving materials, landscaping and screening, a parking area can be designed to minimize its impact on historic downtown Winchester and, with some creativity, be an attractive area for parking, pedestrian and vehicular circulation, or even as a public gathering space for events and festivals

### **6.3 Parking Guidelines**

**6.3.1** Whenever possible, retain and preserve the historic configuration and materials of paved areas such as alleys and sidewalks.

**6.3.2** Parking in downtown should be located to the rear of the building. In certain cases, it may be appropriate for parking to be located to the side and rear of the structure. Parking lots should not be located on a corner lot.

**6.3.3** Appropriate materials that complement a historic district (such as brick pavers) are encouraged to be used in the design of a parking area. This would minimize the aesthetic impact of an expansive parking area while also facilitating more efficient pedestrian & vehicular circulation.

**6.3.4** Whenever possible, use effective screening methods for parking areas such as landscaping, fencing,, and masonry walls that are compatible with the adjacent structures and district.

**6.3.5** Gravel and unpaved parking areas or pedestrian walkways are not appropriate.

**6.3.6** Parking structures should be compatible with the district in design, materials, and fenestration. Structures should incorporate street level retail or offices with upper floors used for parking.

## Landscaping & Streetscape

Streetscape elements such as landscaping and street furniture can have a tremendous impact on an urban historic district, such as downtown Winchester. While they can be mostly functional, such as a shade tree or a sidewalk bench, they can also be an attractive, pedestrian-friendly element that helps define space and encourages commerce, dining, and interaction.

These elements must be considered in any design for new construction, parking areas, and

sidewalk retail. **6.4 Landscaping Guidelines**

**6.4.1** New landscaping areas should use planting materials compatible with the historic district and appropriate in the urban environment.

**6.4.2** Retain and maintain specific landscape features that are character-defining elements of the historic district, including large trees, parks, hedges, foundation plantings, grassy lawns, and ground cover.

**6.4.3** If it is necessary to remove a large tree because of disease or storm damage, replace it with a new tree of the same species or with a similar appearance.

**6.4.4** Appropriate landscaping should be used to screen parking lots, utilities, garbage receptacles, and other service areas.

**6.4.5** Plantings should not obstruct the view of historic structures, facades, or architectural details.



## **6.5 Streetscape Guidelines**

**6.5.1** Sidewalk furniture including benches, trash receptacles, tree grates, etc. should be of a material and color that is complementary to a historic downtown.

**6.5.2** Retain and preserve historic fences and walls. Modern fencing such as chain link is incompatible in the downtown historic district.

**6.5.3** Sidewalk retail and cafés are encouraged in downtown provided they use appropriate street furniture, do not significantly obstruct historic structures or architectural features, and do not create a hazard for the pedestrian.

**6.5.4** Landscape elements such as fences, gates, and walls are appropriate in downtown to screen parking lots or service areas. They must be compatible with the existing structure and be made of appropriate materials such as masonry, wrought iron, and wood.

# Lighting

Lighting in downtown Winchester serves several purposes including security, facilitating vehicular and pedestrian traffic, illumination of signage and facades, and accentuating architectural details of buildings. Whenever designing lighting elements in downtown, it is important to consider the level of lighting as well as the scale and overall design of the lighting fixture.

## 6.6 Lighting Guidelines

**6.6.1** Introduce exterior lighting that is compatible with the historic nature of the structure, the property, and district. Compatibility of exterior lighting and lighting fixtures is assessed in terms of design, material, use, size, scale, color, and brightness.

**6.6.2** Whether lighting the street or parking areas, appropriate fixtures must be selected that are compatible with existing fixtures and the historic character of the district.

**6.6.3** When mounting lighting fixtures on buildings, select those that are as unobtrusive as possible and whose installation will not damage or conceal any historic architectural features.

**6.6.4** Rather than indiscriminately lighting areas, introduce subtle lighting qualities by carefully locating light sources.

**6.6.5** Introduce lighting levels that provide adequate safety, yet do not detract from or overly emphasize the structure or the property.

**6.6.6** Introduce directional lighting that does not spill light onto adjacent properties. Exterior lighting in parking lots must be directed into the parking area itself.

## VII. DEMOLITION

Demolition of a structure in the historic district is an irreversible step and must be carefully deliberated. Once they are destroyed, historic resources can never be replaced. In considering demolition, the property owner and the Winchester Historic Preservation Commission must give careful thought to the following questions:

- Could another site serve the purpose equally well?
- Could the existing building be adapted to meet the owner's needs?
- Could the property be sold to someone willing to use the existing building?
- Could the existing building be moved to another site?

In reviewing a request to demolish a building in the district, the WHPC also considers whether the proposed demolition will adversely affect other historic buildings in the district or the overall character of the district. The WHPC discourages demolition when no subsequent use has been proposed for the site. When considering demolition of a historic building, the property owner is encouraged to work closely with the WHPC in reviewing all alternatives.

### 7.1 Denial of Authorization to Demolish

An application for a certificate of appropriateness authorizing the demolition or the destruction of a building, a site, or a structure determined by the State Historic Preservation Officer to have statewide significance as defined in the criteria of the National Register of Historic Places, may be denied except when—

- The WHPC finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use of or return from the property by virtue of the denial, or
- The city has adopted a demolition ordinance under the minimum housing

code. **7.2 Delay of Demolition**

An application for a certificate of appropriateness authorizing the demolition or the destruction of a designated landmark, building, site, or structure in the historic district may be delayed for up to 365 days from the date of approval. If the WHPC has voted to recommend designation of a property as a landmark or a historic district and final designation has not been made by the City Commission, then demolition may also be delayed up to 365 days or until the City Commission takes final action on the designation, whichever comes first. The intent of the delay is to provide sufficient time to exhaust all possibilities of saving the building. During the delay, the WHPC must actively seek to negotiate with the owner or other interested parties to find a means of preserving the building or the site. The WHPC must also make it widely known that a significant building is threatened with demolition and that alternatives are sought.

The WHPC may waive all or part of the delay period if it finds that the structure is of little historic or architectural value. Also, the WHPC may reduce the maximum period of delay when it finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use of or return from the property by virtue of the delay.

## 7.3 Demolition Guidelines

7.3.1 Work with the Historic Preservation Commission to seek alternatives to demolition.

7.3.2 If all alternatives have been exhausted, follow these guidelines for demolition:

- Make a permanent record of a significant structure before demolition. The record shall consist of black-and-white photographs and other documents, such as drawings, that describe the architectural character and the special features of the building. The WHPC determines on a case-by-case basis the precise documentation of a specific building that is required and the person who is responsible for producing that documentation. The documentation must be submitted for review by the WHPC before the demolition. The record is retained by the City of Winchester.
- Work with the WHPC to identify salvageable materials and potential buyers or recipients of salvaged materials. The removal of all salvageable building materials before demolition is encouraged, and may be required depending on the significance of the building.
- Clear the structure quickly and thoroughly.
- Submit a site plan illustrating proposed landscaping and any other site development to be completed after demolition.
- Plant the site or appropriately maintain it until it is reused. If the site is to remain vacant for over one year, it must be improved to reflect an appearance consistent with other open areas in the district.

## 7.4 Demolition by Neglect

The process whereby a property is allowed to fall into a state of disrepair, which then leads to a state of serious deterioration followed by ultimate demolition is considered to be **Demolition by Neglect**. This has not been a significant issue in downtown Winchester up to this point. If it becomes a problem, it will be addressed by the Winchester City Commission.

# VIII. Appendix

## 8.1 SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION <sup>1</sup>

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**BLANK**

## Certificate of Appropriateness Checklist

Since every project is unique, the requirements for issuance of a Certificate of Appropriateness (COA) application may vary. A staff member in the Winchester Historic Preservation Office will meet with you to determine the items on the checklist that will be needed in order to submit a COA proposal for review. In some cases, your application for a COA may require drawings. Drawings help the WHPC to understand your proposal and can also provide you with a valuable base of information for contractors and other involved parties.

Once the Staff has worked with you to determine what must be submitted, the completed application (with all the necessary drawings and details) can be submitted to the Winchester Historic Preservation Office. A schedule of pre-planned Design Review Meetings will determine the deadline for submission. Additional materials may be requested by the Winchester Historic Preservation Office at any time during the process in order to ensure that complete details are available for review. If materials that are requested are not submitted by the arranged deadline, your application will be delayed and will not be presented to the WHPC until those requests are satisfied.

### Door or Window Replacement

- ☐ Specifications of replacements
  - ☐ Dimensions
  - ☐ Color
  - ☐ Drawing, photos, specifications

### Signage or Awnings

- ☐ Placement sketch
- ☐ Dimensions
- ☐ Materials specifications (including color and attachment points)

### Painting or Facade Repair

- ☐ Colors
- ☐ Drawings (with dimensions) of any changes involving replacement of facade materials
- ☐ Specifications of repair techniques (washing, etc.)

### New Construction

- ☐ Detailed site plans including all elevations, floor plans, and relationship of structure to adjacent buildings and structures
- ☐ Materials list and detailed drawings (photos if possible) of all exterior elements (windows, doors, facade features including any trim or decorative features, roof, cornice and guttering specifications)

### Additions to building

- ☐ Detailed drawings showing all elevations and the relationship to adjacent structures
- ☐ Site plans
- ☐ Floor plans

### Safety or Utility Retrofit

- ☐ Drawings (including dimensions) of exterior placement and configuration of walkways or other safety features
- ☐ Placement sketch of utility additions to any exterior facades

### Landscape/Streetscape/Lighting

- ☐ Specifications of any new or replacement lighting fixtures (exterior only)
- ☐ Drawings or photos
- ☐ Landscape change or addition drawings and materials specification for any new site element (fencing, parking, etc.)

### Other

- ☐ \_\_\_\_\_
- ☐

**BLANK**



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

APPLICATION

Property Address:	
Applicant Name:	Owner Name:
Mailing Address:	Mailing Address:
Phone:	Phone:
Proposed Work:	
Applicant's Signature:	Date:
Owner's Signature:	Date:
<p><b>Please refer to the checklist of materials required with your application.</b></p> <p>(A meeting with the Winchester HPC to discuss the specific details of your project is strongly encouraged.)</p>	

REFERRAL

## Historic Preservation Office Use Only

Historic District: \_\_\_\_\_ Case Number: \_\_\_\_\_

**U** Staff Reviewed      Staff Review Date: \_\_\_\_\_

**U** Referral to WHPC      WHPC Meeting Date: \_\_\_\_\_

Comments:

## Recommendation

**U** Disapprove      Comments: \_\_\_\_\_

**U** Approve with Conditions      Comments: \_\_\_\_\_

**U** Approve      Decision By: **U** WHPC Staff

**U** WHPC

COA Issued: **U** YES **U** NO Date COA Issued: \_\_\_\_\_

Comments:

ACTION

\_\_\_\_\_

(Winchester Historic Preservation Office Signature)

(Date)

**BLANK**

# RESOURCES

## **Preservation Briefs — National Park Service**

[www.cr.nps.gov/hps/tps/briefs/presbhom.htm](http://www.cr.nps.gov/hps/tps/briefs/presbhom.htm)

*The National Park Service offers easy-to-read “how-to” articles on repairing and restoring historic buildings called Preservation Briefs. These contain information on topics such as repairing windows, rehabilitating historic storefronts, dealing with paint problems, re-pointing masonry, conserving energy, and more. The articles are illustrated with photographs and diagrams and are free on the web. They are also available in hardcopy through the U.S. Government Printing Office (Toll-Free 866-512-1800). The Park Service web site also provides information on grants and tax credit programs .*

## **Winchester Historic Preservation Commission**

**(WHPC)** (859) 744-7019

*The WHPC can help facilitate projects within the downtown historic district. They offer advice and a checklist of materials needed to obtain the required COA. The WHPC can also answer questions about the design review process.*

## **Winchester First, Inc.**

[www.winchesterfirst.com](http://www.winchesterfirst.com)

(859) 737-0923

## **Kentucky Heritage Council**

[www.state.ky.us/agencies/khc/khchome.htm](http://www.state.ky.us/agencies/khc/khchome.htm)

(502) 564-7005

## **Center for Historic Architecture and Preservation (CHAP/University of Kentucky)** [www.chapuk.org](http://www.chapuk.org)

(859) 257-4442

## **National Trust For Historic**

**Preservation** [www.nationaltrust.org](http://www.nationaltrust.org)

(800)944-6847

**Bluegrass Heritage Museum** (for collection of photographs of downtown buildings) 859 745-1358

**BLANK**

## Section 2: Market Performance Trends in Winchester

This section addresses the complex relationship between preservation and dollar value benefits. It contains a table of sale and assessed dollar values for each of the 109 buildings within the historic district as recorded in Clark County's files, back to 1966. There is also a brief evaluation intended to provide a look at economic factors related to the changing values of building stock in Winchester's historic core. The aim is to assist planners in understanding the complex relationship between the city's economic change over time and the relevance of historic preservation as something greater than a "feel good" initiative.

### **Material and Non-Material Value**

The value of Winchester's historic downtown as an expression of local character and heritage has been continuously recognized by civic authorities and by consumers, business owners, residents, and other constituencies. The evidence for this non-material way of valuing the district is expressed in its listing on the National Register of Historic Places, its high degree of retention, and in the numerous reports, studies, histories, and other materials that have been produced in the past. The fact that the majority of downtown buildings have remained largely unaltered over the past 100 years is another expression of how the City and its residents value its historic resources.

The sustainable nature of the downtown speaks for itself in other ways. The core area of town remains a place where economic, social, political, entertainment, and legal mechanisms have played out routinely for nearly two centuries. Likewise, the image of downtown is persistent and worthy of maintaining, even as certain types of consumer activities disperse to areas beyond the downtown core. By incorporating preservation and maintenance of the character and fabric of its historic downtown as part of its overall planning efforts, Winchester offers investors, property owners, consumers, and residents an alternative or counterbalance to the less distinctive commercial centers found in outlying zones.